

Waskasoo Community Association

Board of Directors



November 13, 2025

Re: Development Permit Application for 4240 59 St

Dear Municipal Planning Commission Members,

Thank you for the opportunity to submit a response to East Lincoln Property's application for a development permit to build a three-storey supportive living accommodation at 4240 50 St. We value your time and ask you to forgive the length of this document; however, the application process allows us only one opportunity to voice our concerns, and we want to be clear and comprehensive.

By way of summary, the attached document details how the application:

1. *does not meet key requirements of the Zoning Bylaws including the Waskasoo Environmental Character Statements concerning:*

Mature street character	Permeable and semi-permeable surfacing
Views and vistas	Wildlife corridors
Environmental character area	Overlook
Tree preservation	Shared access
Fencing	Clustered development pattern

2. *will unduly interfere with neighbouring amenities including:*

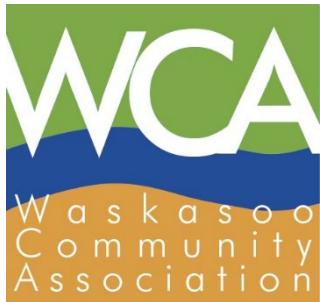
Views and vistas	Parking
Trails	Student/pedestrian safety
Traffic	Emergency service access
Area environment including open spaces, hydrology, bank stability, and ecology	

3. *will materially interfere with and affect the use value and enjoyment of neighbouring properties.*

Our Summary of Concerns is followed by a copy of the Waskasoo Area Redevelopment Plan and Character Statements, as well as copies of past letters from the Red Deer River Watershed Alliance and Red Deer Public School Board. Please contact me if you have any questions or would like to tour the area.

Sincerely,

Brenda Garrett
President
Waskasoo Community Association
403 347 3883



November 14, 2025

Waskasoo Community Association's Summary of Concerns Regarding the Development Permit Application for 4240 59 St

Thank you for the opportunity to respond to East Lincoln Property's development permit application for Senior Supportive Living Accommodation at 4240 59 Street.

This lot is extremely important to Waskasoo residents. Part of the schoolyard for the County's Riverglen School since the early 1960s, it was subdivided off in 2014 when the County moved their school to Penhold. At that point, the City of Red Deer invested tens of thousands of dollars in developing the Waskasoo Area Redevelopment Plan (ARP) and its Environmental Character Statement to ensure any development here fits the character and does not harm the environment. As stated by the City of Red Deer to the Alberta Municipal Government Board at the 2014 subdivision hearing, the City "would be working towards a development plan for the area which it believed would address and guide the future of the site" (*Municipal Government Board Order MGB 029/14 File S14/REDD/C-017*).

These planning documents were carefully created over two years of community consultation and research by subject matter experts and area stakeholders including the Waskasoo community, area schools and school boards, the Kerry Wood Nature Centre, Waskasoo Environmental Education Society, and the Gaetz Lakes Sanctuary Committee. The ARP and Character Statements were passed by City Council in 2016.

Four years later, in 2020, the lot was purchased by East Lincoln Property with all the ARP's recommendations in place. In 2022, East Lincoln proposed removing the lot from the Environmental Character Area and rezoning the lot from Public Service (PS) to High Density



Residential (R-H) in order to build a 120+ unit independent seniors living apartment complex with a four storey building facing 45th Ave. and the river and a three storey building, almost identical to the development applied for here, along 59th Street. See the image to the left taken from East Lincoln's 2022 rezoning proposal.

Facing serious opposition, the developer then applied instead to revise the ARP and character statements and rezone the property to R-H to allow these types of structures on the lot. Their application was refused unanimously by Council in 2023.

We are thankful, therefore, that with this development permit application, East Lincoln Property is not attempting to amend the Character Statements and is proposing to use green technologies, low maintenance xeriscaping, landscaped parking areas, and dark sky lighting.

However, we cannot support this development application because, for reasons outlined below, it still does not meet important requirements of the Zoning Bylaws and incorporated Environmental Character Statement; will interfere with neighbourhood amenities; and will unduly affect the use, enjoyment, and value of neighbouring property.

BYLAWS:

The Zoning Bylaws are tasked with applying City of Red Deer statutory plans and policies to real life urban development. This development application is counter to numerous City statutory plans and policies including the following policies laid out in the Municipal Development Plan (specific ways it does not comply are discussed below):

Policy 7.1: In addition to the Neighbourhood ... Planning Guidelines and Standards, the City should prepare and adopt design guidelines for areas with special characteristics, opportunities, and problems *to exercise greater design controls*. Areas where design guidelines may be needed could include *older neighbourhoods experiencing development pressures* ...

Policy 10.9: Intensification shall be encouraged in established neighbourhoods through residential and mixed use infill projects *where there is adequate capacity* in major municipal infrastructure ... *unless otherwise determined through an approved ... area redevelopment plan*.

Policy 19.5: The policies of the MDP shall be further refined and implemented through the preparation, adoption, and *day-to-day application of ... area redevelopment plans and the Land Use Bylaw...*

The application also counters the best planning practices laid out in the Neighbourhood Planning and Design Standards. These standards are primarily concerned with large-scale greenfield developments, but they also apply to smaller redevelopments and state that for such redevelopment “an analysis of what is already there (in built form) provides the context and basis for which new development will ‘fit in’ and respond to” (6). These

“redevelopment standards apply to development permit applications” and are “superseded by the zoning bylaw” (6).

This application counters the following Redevelopment Design Standards in the NPDS:

4.3: Redevelopment shall complement the existing neighbourhood architectural character (colour, materials, styles), building patterns, scale, building height and massing.

4.6: Locate redevelopment within 1.2m of the existing front yard setbacks of adjacent sites...

4.8: Maintain the privacy of adjacent dwellings through careful placement of windows, doors, decks and patios in new buildings....

According to the Municipal Government Act these policies and statutory plans do not have to be enacted by the municipality and may contradict one another; however, they do outline the goals and best practices that support Red Deer’s Zoning Bylaws, which, unless there are compelling reasons to do so, *must* be followed by the municipality.

Because the application does not fit these statutory documents, it is not surprising that it also does not fit the Bylaws in the following ways:

A. Discretionary Approval is Required

First, the cover letter sent to the WCA and residents within 100m with the application states that “all measurements and setbacks comply with The City of Red Deer Zoning Bylaw.” This statement is misleading because the lot is in the Public Service (PS) zone, for which the regulations state all setbacks, heights, areas, and other measurements are discretionary and subject to the Development Authority’s approval. In this instance, the Municipal Planning Commission is the development authority, and nothing complies with these bylaws until MPC decides it complies. This statement likely led to several citizens not submitting comments who otherwise would have. See the PS regulations in the table to the right.

9.40.4 PS Regulations Table	
Category	Regulations
Floor Area	Supportive Living Accommodation minimum: 23.0m ² per unit
Front Yard Setback	Subject to Development Authority approval
Side Yard Setback	Subject to Development Authority approval
Rear Yard Setback	Subject to Development Authority approval
Landscaped Area	Subject to Development Authority approval
Loading Spaces	Subject to Development Authority approval

9.40.5 The Site Plan, relationship between Buildings, structures and Open Space, architectural treatment of Buildings, provision and architecture of landscaped Open Space, and Parking layout will be subject to Development Authority’s approval.

B. Character Statement Recommendations

Second, the lot is in the Waskasoo ARP's Environmental Character Area and subject to that area's character statements. While the ARP is a statutory document, the Character Statements within it "are incorporated into and *form part of The City of Red Deer Land Use Bylaw*" (ARP pg 9). Section 1.2 clarifies that "Character Statements are a planning tool that will be applied in conjunction with ... The City of Red Deer's Land Use Bylaw to evaluate if an application maintains the character of the area. *Where the regulations in the Land Use Bylaw ... conflict with the Character Statements, the Character Statements shall prevail.*"

Correspondingly, the City of Red Deer Zoning Bylaw states:

The areas of Waskasoo and Woodlea have applicable Character Statements that define the character of the area and outline regulations establishing the design parameters to which a proposal for redevelopment in the area must adhere. The Development Authority *will use Character Statements in conjunction with the Zoning Bylaw to evaluate if an application maintains the character of the affected area. Where the requirements in the Zoning Bylaw conflict with the Character Statements, the Character Statements prevail* (12.150.1.1-3)

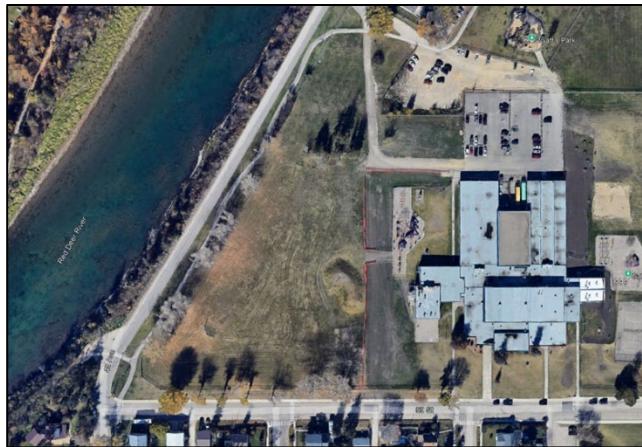
As stated above, East Lincoln Property has met some of the requirements of the Environmental Character Statement relating to green technologies; however, the application does not meet key requirements related to neighbourhood character, massing, building location, overlook, and views.

i. Shall Statements

Section 1.4 of the ARP states that Character Statements that contain the word "*shall*" must be followed. East Lincoln's Development Permit application fails to meet the following three "Shall" statements:

1. *Mature street character, scenic Vistas viewable from the road, and existing natural features of the area shall be maintained (Recommendation 5.6.2).*

The street character on 59th St. primarily consists of a majority of small 1940's War Veterans Act homes facing 44th and 43rd Avenues, their rear yards, and a single storey school set back 30m from the curb with large open space side yards. See the images below. To be as objective as possible, we have used screenshots from Google Earth.



Satellite image of the location.

45th Avenue runs along the river, 59th Street runs parallel to the bottom of the image and is intersected (from l – r) by 45th Avenue, an alleyway, 44th Avenue and an alleyway, 43rd Avenue and a paved alleyway. Area homes face the avenues.

Images of typical homes along the street:

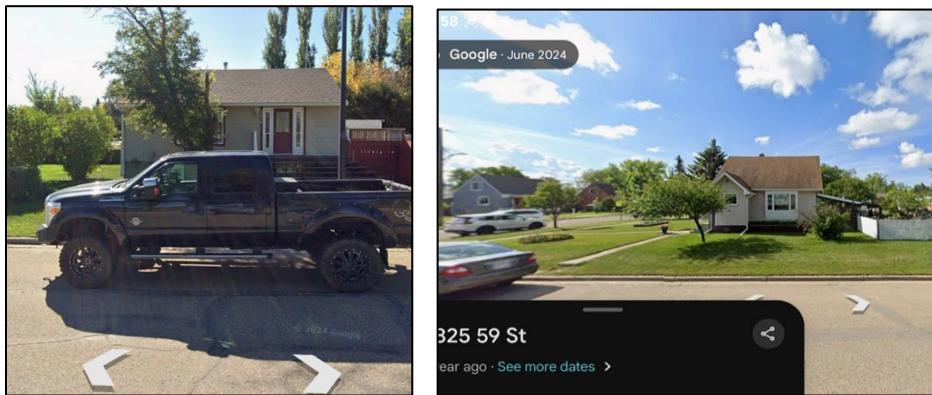


Image of Gateway School from 59th Street:

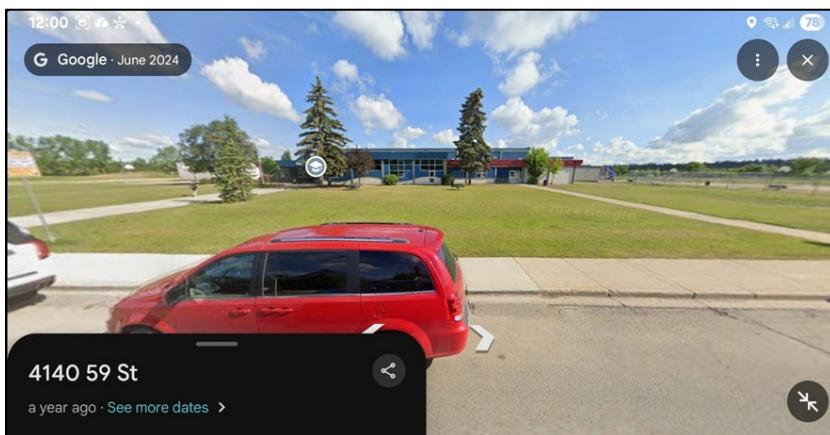
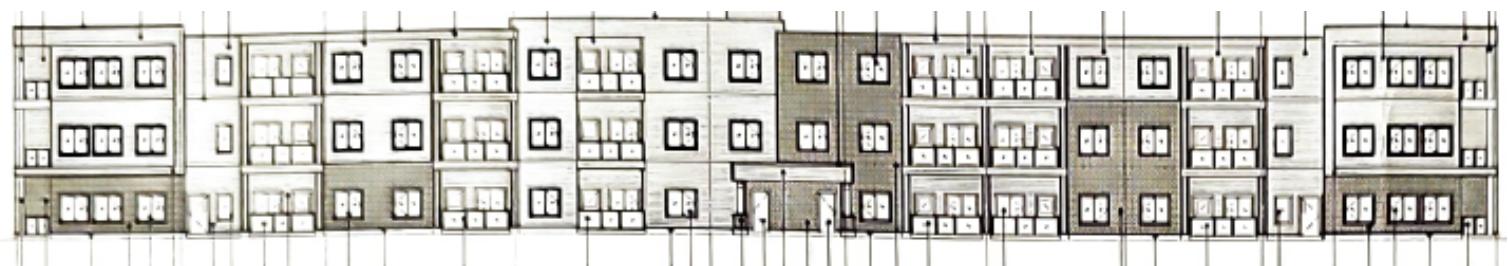


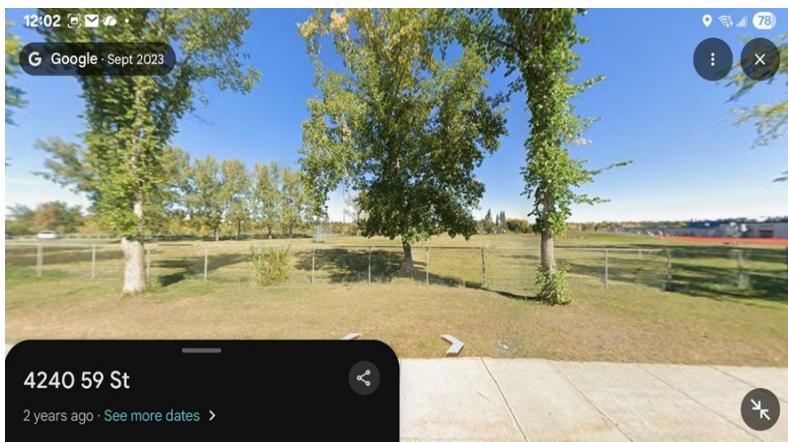
Image of south elevation of proposed development:



The proposed development, on the other hand, is three storeys tall and will dwarf the homes across the street. It will also dwarf Gateway School since the apartment building will be located approximately 15m closer to the street and has comparatively minimal side yard setbacks. Any development here should at minimum be no less than the front yard setback of Gateway school.

The building's design also does not fit the surrounding built environment. It is similar to what is being built on R-H lots in Capstone or Evergreen, and just as these War Veteran Act Homes from the late 1940s would look out of place on streets in those neighbourhoods, this apartment building will not fit the streetscape here.

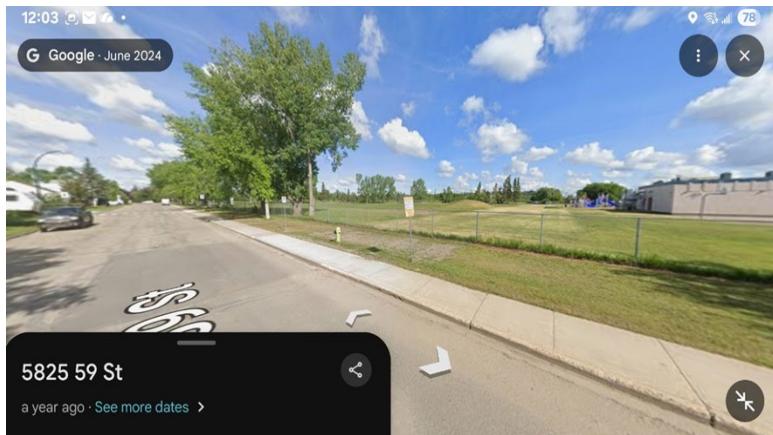
Along with negatively impacting the mature street character, the building will obliterate views and vistas from 59th Street. The Neighbourhood Planning and Design Standards define Views as “a unique distant view, viewscape or view corridor along a road, through an opening, or along an escarpment or high point” (pg 11) and the Waskasoo ARP defines Vista as “a scenic or panoramic view” (25). The proposed development's size and siting will block long standing views from 59th Street as well as the view looking north down 44th Ave. See images below.



Three Google Earth images of the views and vistas from along 59th Street looking north and northwest



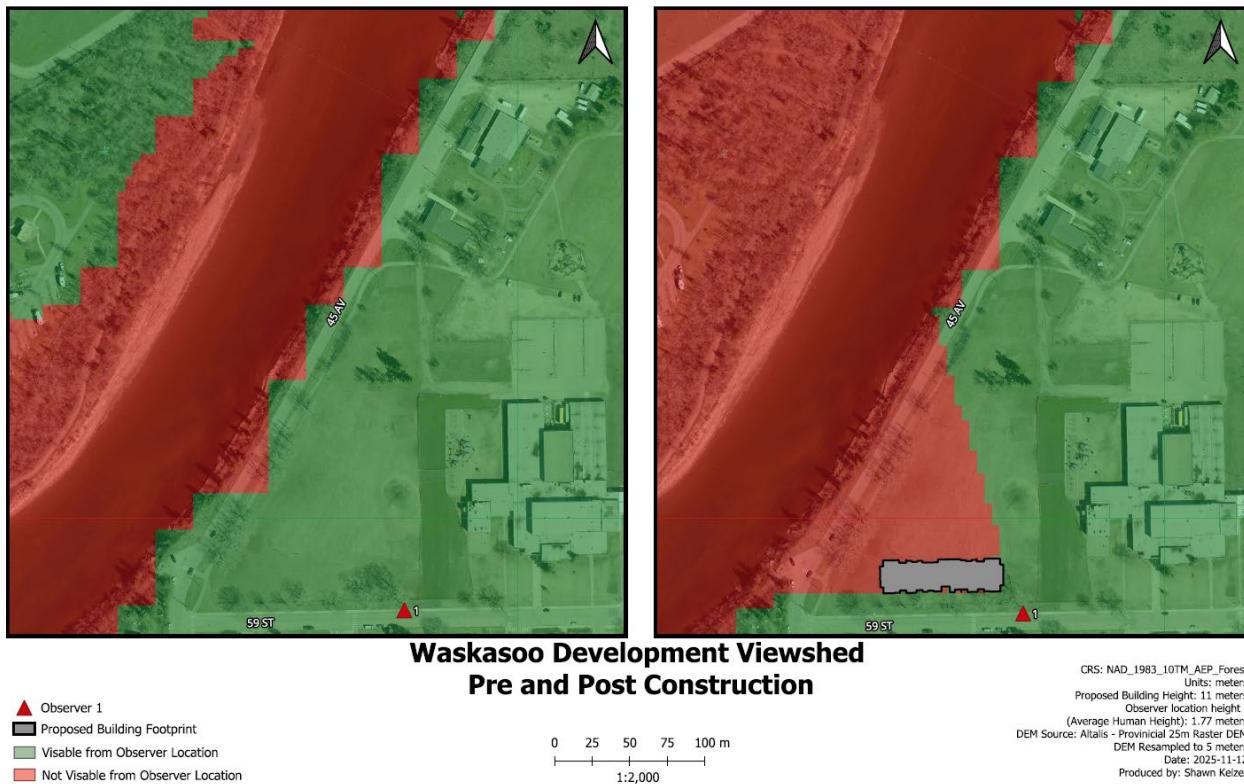
Note that the mature specimen trees behind the fence are proposed to be removed for the development.



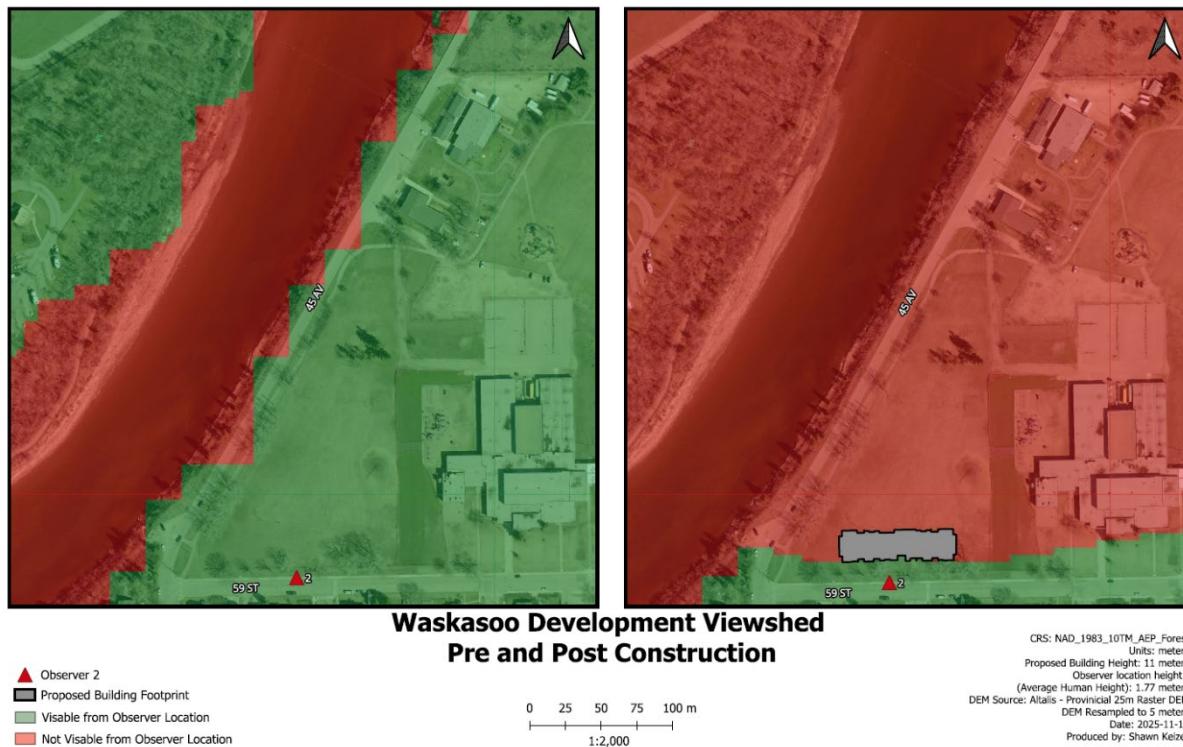
The NPDS note that designing neighbourhoods to preserve existing views and vistas lends character and a distinct identity to communities (9.2). It stands to reason that obstructing such longstanding views and vistas would then damage that same character and distinct identity.

Below is a viewshed analysis produced by Shaun Keizer, Consultant, Geospatial Insight, demonstrating the impact of the building on the views from the height of a pedestrian moving west at three locations along 59 Street (red triangle). Green indicates what can be seen and red indicates what cannot be seen. For each location, both what is currently visible (left image) and what will be blocked by the building (right image) is shown.

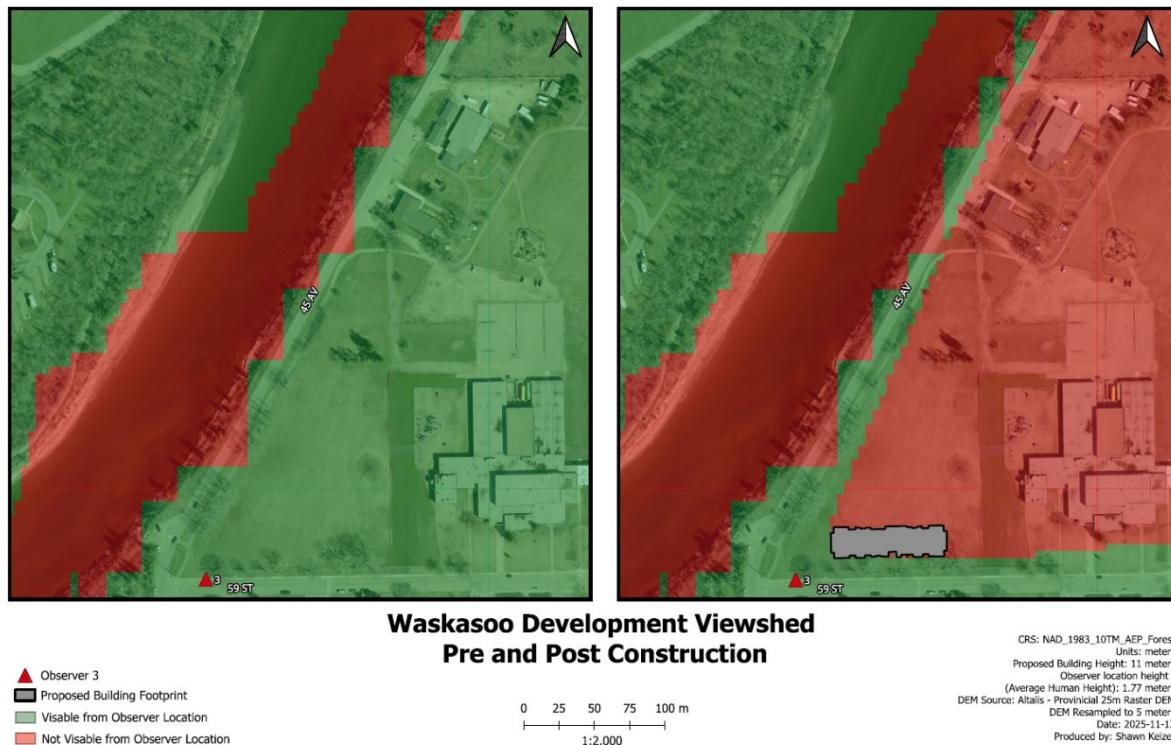
Location 1:



Location 2:



Location 3:



Note the complete obliteration of any views from location 2 and that from locations 2 and 3 even the Gateway School building next door is blocked from view because the building is sited so close to the street.

Not only does the design block views and vistas and not blend in with the mature streetscape, but perhaps even more importantly, because of its massing, form, and height, the development does not match the character of the Environmental Character Area to which it belongs and which includes the Kerry Wood Nature Centre, Gaetz Lakes Sanctuary, and McKenzie Trails. The extensive studies done for the ARP describe the character of this area as:

- Natural features including native vegetation, mature trees, and a minimal building coverage
- Buildings are typically 1 storey with flat roof construction
- Rural character with native, naturalized landscapes, rural road cross sections, a lack of fencing
- A wide-open sense of space that is not common in other areas of the City (pg 18)

At three storeys tall, the development fills the south face of the lot to the maximum extent (there is a right of way under the lawn bowling courts), is overly urban in feel, includes an access through the swale and onto the rural road, and proposes excessive fencing. All of this destroys the wide-open sense of space.

You need not rely solely on our opinion. In January 2022, the developer met with numerous city departments in a Pre-Development Meeting for a proposed development called Riverglen Village. Very similar to what was later refused in the rezoning application and what is before MPC today, the proposed development is described in the summary as “a three-storey hybrid assisted living facility on the south side of property with a four-storey building on the west (river) side consisting of 122 units ... Mainly independent living with the opportunity for additional services.”

City Department Comments in the meeting included:

- PS Zoning – setbacks and maximum height are not defined under the land use bylaw. The main concern will be compatibility with the neighbourhood (pg 2)
- Waskasoo ARP will be a guiding document for the development (pg 4)
- The siting of the building along 45th Avenue and 59 Street removes the contributing factor to the adjacent open space to the west. The site is closed off by having the building sited on the corner. It is the Development Officer’s opinion that [Character Statement recommendation 5.6] is not met (pg 3)

- Inappropriate form – there are no other large scale buildings in the neighbourhood [character area] (pg 3)
- Loss of landscaping features and closing the site to the west trail and river (pg 3)
- Joint access with the north is preferable (pg 4)

Because it does not comply with recommendation 5.6.2, the application should be denied. As shown below, it also does not comply with 5.6.13 and 5.6.16.

2. *Existing specimen conifer and deciduous trees shall be identified on a site plan and protected during site construction activities and after by ensuring buildings, services or hard surface areas are not sited too close (5.6.13).*

This shall statement is also not met since four mature cottonwoods are proposed to be removed because the building and lawn bowling courts are sited too close to 59th Street.

3. *Location, style, and amount of fencing proposed around and/or adjacent to open space areas shall have consideration for the movement of wildlife ... (5.6.16)*

Fencing is needed only between the lot and Gateway School to keep children safe from traffic on the property. The rest of the lot should remain unfenced to allow movement of all types and sizes of wildlife. In addition, the decorative fencing proposed is solid and will completely block the movement of small wildlife such as hares, skunks, porcupines and reptiles.

ii. Should Statements

In the Character Statements, the word “should” in a recommendation means that compliance is required but the Development Authority has some discretion based on the circumstances. The following three “should statements” have also not been met.

1. *Permeable and semi-permeable paving surfaces should be provided to improve ground water recharge and reduce storm water runoff (5.6.6).*

All hard surfaces proposed in the application are asphalt or brushed concrete.

2. *All roads north of 59th street within the character area should maintain their natural boundaries and native vegetation to preserve and enhance the wildlife corridor through this critical area adjacent to the Red Deer River (5.6.9).*

The access road from 45th Avenue north of 59th Street will disturb the boundary and needlessly impact the wildlife corridor adjacent to the river.

3. *New development should not adversely affect the character of the streetscape, as a result of being sited too close to the road, of inappropriate or excessive massing*

form or height having a negative impact on abutting properties in terms of shadows and privacy/overlook, or causing the loss of landscape features or other factors which may have a negative effect on the streetscape or abutting properties (5.6.15).

Much of how this development does not meet these requirements is outlined above. However, we will point out that siting the building too close to the road (59th St) combined with excessive height and massing will negatively impact neighbouring properties through overlook and loss of privacy. As stated, the development runs perpendicular to the area's avenues. Twenty-four balconies and 85 windows will not only face the homes along 59th St. but will also overlook those dwellings' rear yards. Balconies, windows and doors at height will also look down streets and alleys into the front and rear yards of other homes along 45th and 44th Avenues and possibly even 43rd Avenue. It is worth noting that the mature trees along 59th St. are all deciduous and offer little to block sightlines for 8 months of the year.

iii. Unqualified Statements

There are also two Character Statement recommendations that do not have a "Shall, should or may" qualifier. Neither of these are met.

1. *Shared driveways are encouraged ...*

As stated by City Administration in the January 2022 pre-development meeting (see above), any development here should share the access drive used by Gateway School and Parkland CLASS. In doing so, additional trail hazards, disturbance of the rural road and vegetation, and run off from paved surfaces would be mitigated.

2. *A conservation development pattern which clusters a development's built form together into a portion of the overall area allowing the open space of the development to contribute to the existing adjacent open space and be an amenity to the site users including wildlife...*

Any development on the lot should be conservative in size and sited further north and on the east portion of the lot to share access with other uses; minimize impact on mature street character and overlook; and maximize open space, views/vistas, and wildlife corridors/movement.

For all the reasons outlined above, this development permit application does not meet the Zoning Bylaws including the Environmental Character Statements and, therefore, should be refused.

However, we understand that MPC can still approve a development permit that does not meet the bylaws, but in that case, the development must not unduly interfere with neighbourhood amenities OR materially interfere and affect the use, value and enjoyment

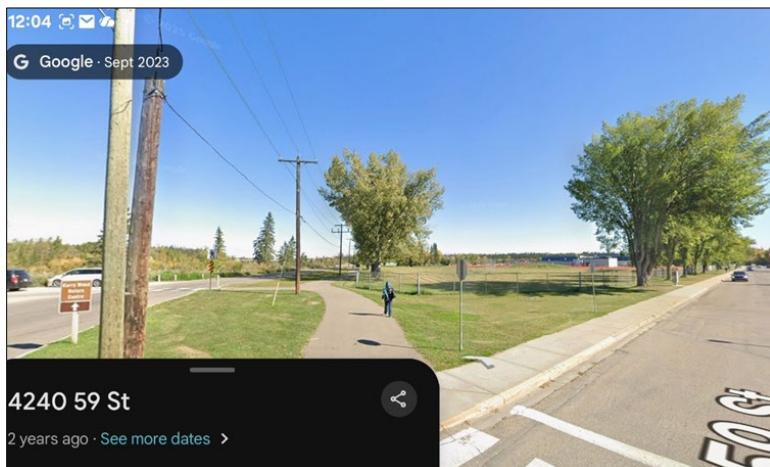
of neighbouring properties. This development permit application does not satisfy either of these criteria.

NEIGHBOURHOOD AMENITIES

Many of the character statement recommendations exist to preserve neighbourhood amenities, so we will try not to be overly repetitive here.

A. VIEWS & VISTAS

Views are shared amenities, and we have shown that this application will obstruct longstanding views and vistas from 59th Street and 44th Avenue. Its location will also obstruct views from the South Bank Trail and the rural access road to the park system.



View to the northeast from the crosswalk at corner of 45th and 59th indicating trail and park access road vistas.

B. TRAILS

By proposing access to the site from 45th Avenue past 59th St., the development will also add a significant hazard to a very busy portion of the South Bank river trail (along the right bank), one of two main trails through Waskasoo Park. (The other being the North Bank Trail.) We can't think of another access has been built across the South Bank trail since the Trail's inception. The access to Parkland CLASS/Gateway School parking and the driveways along Cronquist Dr. in West Park cross the trail, but these existed before the trail was designed and crossing them was a necessity when the trail was built in the 1980s.

C. TRAFFIC

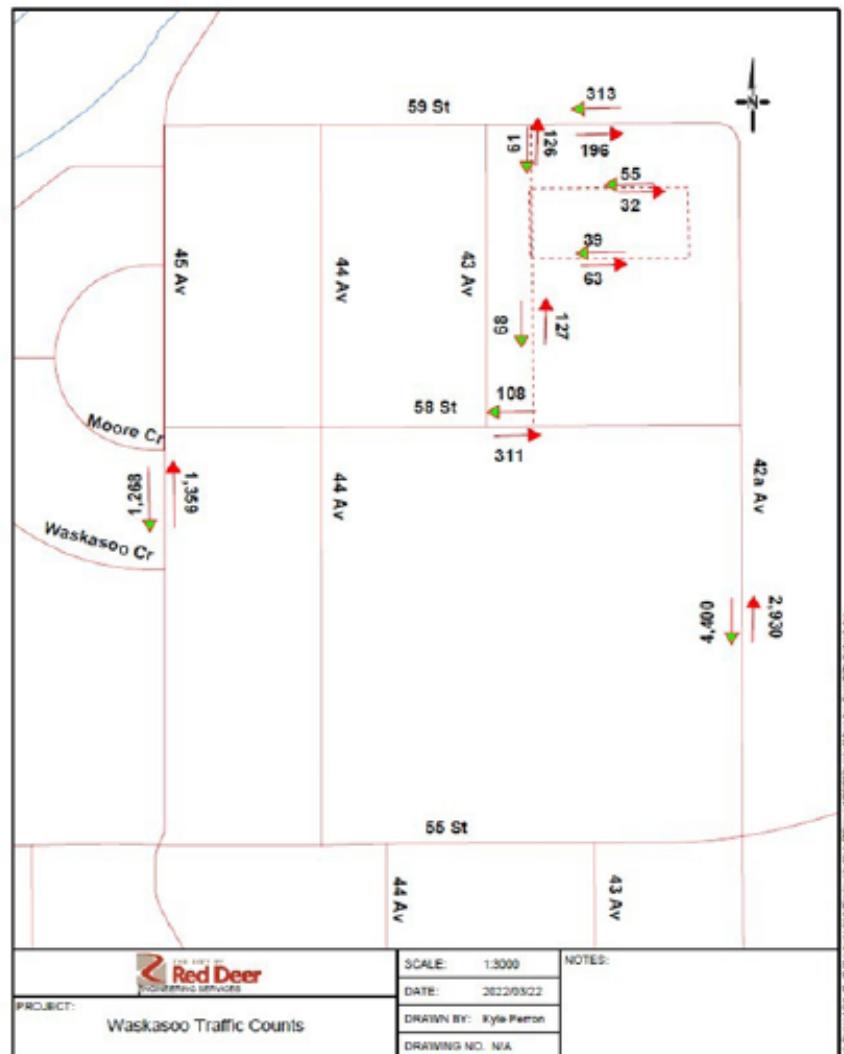
This development will also add to longstanding, verifiable traffic and parking concerns. During the two years of extensive research for the Waskasoo *ARP*, traffic was the second main concern of residents. (The first was over-intensive development on this lot.) Traffic

issues in Waskasoo have been acknowledged by City Engineering, area school boards, and past City Councils. These concerns are verified in the response submitted to this application by Sinead Armstrong, Principal of Camille J. Lerouge school. (See also 2023 letter from Red Deer Public School Board attached here)

These traffic issues exist because Waskasoo was not designed according to today's best planning practices. Laid out over a century ago, Waskasoo has narrow roads and limited access points all of which are from one direction (55th St in the south). Compounding this, a number of high-traffic uses have been added over the years and most have been located towards or at the back of the neighbourhood: Lindsay Thurber Comprehensive High School, Camille J. Lerouge Middle School, Gateway Christian K-12 School, Parkland Community Living and Support Services, Woodlea Daycare, Memorial Centre, Festival Hall, Kerry Wood Nature Centre, Gaetz Lakes Bird Sanctuary, McKenzie Trails Recreation Area, and the City of Red Deer Nursery.

With the transfer of the Riverglen school building to Gateway Christian School in 2015, traffic in Waskasoo increased exponentially. A county school with 188 students arriving mostly by bus is now a destination Red Deer Public School with over 800 students arriving primarily in family cars. Combined with the two other schools, Waskasoo is now visited daily by over 3500 students and staff.

Altogether, this means that a 2021 traffic count (shown on the following page) found there are 2627 vehicle trips on 45th Avenue daily. This count was performed during the pandemic when there was considerably less traffic. A pre-pandemic count done in June 2016 indicated 3600 daily trips.



45th Avenue was not designed for this number of vehicles. Varying in width from 8m to 10.7m, according to its design, of the choices available in the City's *Engineering Design Guidelines*, it most closely resembles a Gravel Laneway (7m wide) and a Multifamily Undivided Local Roadway (11m wide). According to the *Design Guidelines*' Roadway Geometric Design Elements table, these are rated for a typical traffic volume of under 500 and under 1000 trips/day respectively. This means that according to its design, even the widest portion of 45th Avenue is already 250-350% over what should be its typical traffic volume according to best practice.

Much of this traffic is "burst traffic," meaning it happens over short periods. At these times, frustrated drivers are more likely to take risks such as running lights and stop signs, speeding down alleys, passing unsafely, blocking roads and driveways, and pulling out in traffic. Further, this is primarily destination and not residential traffic and will only increase as the city grows, local schools expand, and more people access the parks. Residential density is also likely to increase as basement suites are now permitted uses and backyard suites are discretionary.

Engineering has also said that one of their key metrics for traffic is how long it takes for vehicles to move through the signal lights at 45th Avenue and 55th Street. Signalized intersections in Red Deer are considered failures if it takes vehicles longer than one minute to move through the intersection. While traffic on 45th Avenue may be able to make it through the 55th Street intersection in that time, those vehicles have already been waiting significantly longer than that to make it through the yield signs on 58th and 59th Streets and onto 45th Avenue.

To the right is a link to the WCA webpage (if the link is broken, please go to <https://www.waskasoo.com/blank>) and video of traffic exiting the neighbourhood after the school day. Traffic is travelling west along 58th St. past the Waskasoo Playground and waiting to turn onto 45th Avenue to get in line for the signalized intersection at 55th St. If you watch the bright red SUV that pulls up under the Canada flag at the end of video 1 and is the subject of video 2, you will see that vehicle has waited at least 3 minutes to reach the yield sign.



One of the *MDP*'s guiding principles is to "effectively manage ... intensification/infill and increased traffic through sound planning practices and consultation with citizens" (3.2.2),

and the intent of Principle 3 in the Neighbourhood Planning and Design Standards is that “Traffic and parking are reduced and do not dominate the neighbourhood” (pg 31).

Waskasoo is already dominated by traffic (and parking – see next section). This Senior Supportive Living Accommodation will be autocentric since the nearest grocery store is a 1.5 kms away. Most residents will likely drive or have groceries, other necessities, and services delivered. Home care will also not be onsite and multiple care aids will be travelling on 45th Ave. up to four times a day. Any more traffic directed onto 45th Avenue will exacerbate these already critical traffic issues.

Locating a multi-family residence at the back of any neighbourhood also goes against best planning practices. The NPDS state that multifamily buildings should be located together, next to supporting services, and along transit routes in what the standards call neighbourhood nodes. Neighbourhood density should be designed so that higher density development is located near the services and infrastructure of the node and slowly transition to lower densities as you move away from the node. A good example is the Neighbourhood Area Structure Plan for the new Bower Woods (pictured to the left) where

the R-H is next to the commercial area along 40th Avenue and the lighter coloured low-density areas are at the back of the neighbourhood next to the environmentally sensitive Piper Creek escarpment.



Bower Woods 2025 Neighbourhood Area Structure Plan Land Use Concept

In Waskasoo, the high-density neighbourhood node is along 55th Street and multi-family developments such as this should be located on or near there. Even as early as 1967, the then City Manager recognized the potential for traffic issues in the neighbourhood if multifamily were to be built at the back of the neighbourhood. In a report on whether City Commissioners should approve an application to rezone land adjacent to the Kerry Wood Nature Centre for multifamily apartments, he wrote: “An examination of this general area related to the Future Residential Land Use pattern proposed for the next 20 years or for a population of 50,000 for the City of Red Deer” revealed that “45th Avenue was not designated or constructed as a major road. Therefore, any major residential expansion on the Glenmere Farms holdings could well cause traffic problems along 45th Avenue” and that “the possibility of developing convenient and direct alternative major roads to disperse the traffic, does not exist in this area because of the present land use and land ownership patterns” (*Red Deer Regional Planning Commission*). Now Red Deer has a population of 112,000 and traffic has indeed become an issue.

D. PARKING

As might be expected, this traffic leads to parking issues, particularly in the area surrounding 4240 59 St. Here there is no offsite parking along 45th Ave. because the road here is an 8m wide rural road with no curbs or sidewalks; limited offsite parking along the north side of 59th St because that is the drop and go and school bus staging area for Gateway School; and limited parking on the south side of 59th St. because there are driveways, lane and street accesses, and no sidewalk.

A seventy-year-old county school, Gateway was never designed to handle so many vehicles efficiently, so the school’s parking also regularly backs up onto 45th, 44th and 43rd Avenues as well as Waskasoo and Moore Crescents, and frustrated drivers inevitably park in front of crosswalks, alleyways, driveways, hydrants, and even along the river escarpment. This illegal parking damages the environment, hinders local traffic movements, and, most importantly, creates significant safety hazards for pedestrians, most of whom are young children, during the period when crosswalks are also the busiest.

E. STUDENT/PEDESTRIAN SAFETY

The *Neighbourhood Planning and Design Standards* state that there should be safe and direct pedestrian, cyclist, transit and vehicular access to school sites (3.22). Traffic and parking make our streets crowded and unsafe for those using them – including students attempting to get to the area’s elementary, middle, and high schools. Again, these concerns are verified by the response submitted by Camille J. Lerouge School.

F. EMERGENCY SERVICES

Burst traffic and parking congestion also means that emergency response vehicles will be challenged during peak times. While it is an emergency service's responsibility to arrive at a scene as fast as possible – even, if necessary, pushing vehicles out of the way or driving through yards and fences to get there – it is also a planning responsibility to reduce the likelihood that these sorts of actions need to be taken. And again, these peak times are when an emergency is statistically the most likely to occur.

G. AREA ENVIRONMENT

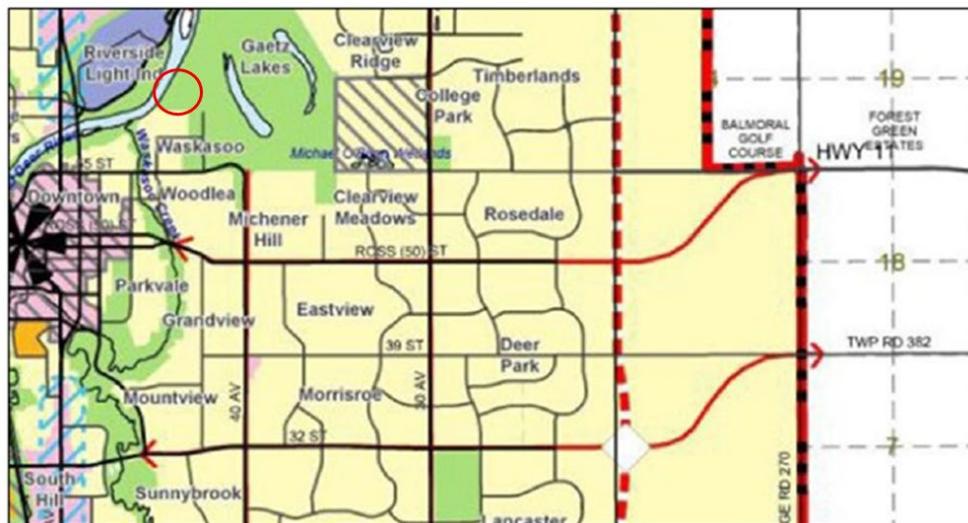
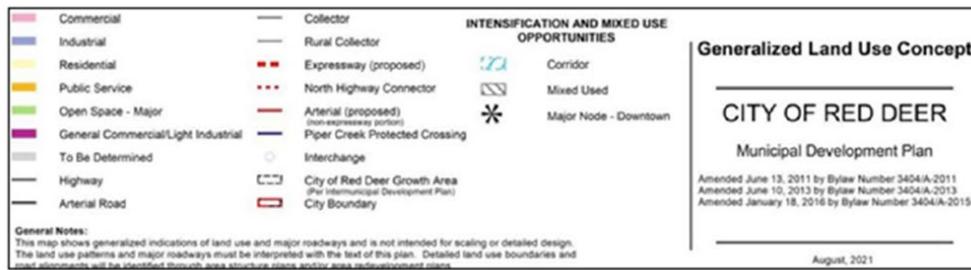
The environment is another neighbourhood amenity shared by neighbours and other Red Deer residents. However, this amenity is also shared with local wildlife. Because of the lot's location in Red Deer's Open Space – Major system and proximity to both the Red Deer River and the Gaetz Lakes, any development here will negatively impact the environment. The question is how much damage is acceptable.

The *MDP* describes Red Deer as a “community with a unique natural environment preserved and enhanced by careful community planning” (3.0) and states that “Environmental and ecological management and the development of Red Deer as an environmentally sustainable and responsible community *is a priority*” (emphasis added, 9.0). There is, therefore, a section on managing the environment and ecology, some of the goals of which are:

- To preserve and integrate significant natural areas into the open space system,
- To foster the creation and maintenance of attractive, clean and ecologically responsible natural and built environments

i. Open Space Major

According to the *MDP*'s Generalized Land Use Concept Map, which lays out how the city is envisioned to develop until 2035 and to a population of 150,000 -185,000, the long-term land use for 4240 59 St is Open Space – Major. Open Space – Major is land carefully set aside to improve the quality of life of Red Deerians; draw tourism and economic investment; and maintain and support the health of the watershed, regional environment, and wildlife. It is not vacant or underutilized land ripe for infill. While development in accordance with bylaws and Environmental Character Statements may be compatible with the underlying generalized land use, overdevelopment such as this is not.



ii. Hydrology

One of the *MDPs* Guiding Principles is to “sustain the natural environment and protect natural systems by paying attention to site resources (hydrology, terrain, geology, biodiversity of vegetation and wildlife)” (3.2.4). As recent research indicates, at this location, hydrology is arguably one of the most important of those resources.

Building off a report entitled *Prioritizing Hydrologically Significant Natural Assets*, the Nature Conservancy of Canada and the Red Deer River Watershed Alliance (RDRWA) published a map in 2019 of what they call Hydrologically Sensitive Areas (HSAs) in the Red Deer River watershed. HSAs have “natural assets that, if preserved in a natural state, provides beneficially hydrologic services such as water provision, flow regulation, and water purification” (RDRWA “New”). They support “water quality, flood mitigation and drought resiliency” (RDRWA “New”). The RDRWA explains that “understanding and protecting HSAs is a key strategy for ensuring ... safe, secure water supplies and healthy, resilient ecosystems,” and the map, they explain, is to be used for “supporting municipal and provincial land use planning” (RDRWA “New”). It is particularly important since Section 18.2 of the *MDP* states:

Land Use Concept Map. The approximate location of the lot is circled in red.

The City shall participate in the activities of the Red Deer River Watershed Alliance in order to promote the effective integration of the management and use of land and water resources to ensure a legacy of ecological integrity and economic sustainability throughout the Red Deer River watershed. A key objective in watershed management will be to maintain the water quality in the Red Deer River at or above provincial standards.

The relevant portion of the map is reproduced below. Again, the approximate location of the lot is circled in red. Access the full online map [here](#).



The darker the area on the map, the greater its hydrological significance. The key to the right of the map indicates that two areas on this lot are in the highest rating, meaning they are “punching above their weight” (RDRWA “New”) as far as working to protect water quality in the Red Deer River watershed. More than surrounding areas, they contribute to a resilient landscape that naturally distributes rainwater, protecting the area from both drought and flood. As climate change occurs and rain events become both heavier and further apart, areas such as these within the city will only become more vital. Please see attached the RDRWA’s 2022 submission to the proposed rezoning of this lot as it reinforces our reading of their and the Nature Conservancy of Canada’s work and outlines the importance of the area to the Red Deer River and to the already endangered health of the Waskasoo Creek watershed.

Policy 9.7 of the *MDP* states: “The City should incorporate significant natural features as part of the overall infrastructure systems.” *This lot contains two.* In addition, the best practices laid out in the *NPDS* include design standard 1.10: “Site design should incorporate elements to protect and enhance riparian zones.” While this development will certainly destroy the HSA to the south, a small development carefully located further north and on the east side of the lot with an open space land use pattern can accommodate and protect these significant areas and include them in the storm water management system.

iii. Bank Stability

In addition to the potential damage to HSAs, the property is on an outside curve of the river and that curve is an active erosion zone. Healthy rivers move across their landscapes, and the movement of the river here is indicated by the oxbow Gaetz Lakes that were created by just such movement in the past. More recently, it is indicated by the slumping along the escarpment near 45th Avenue as well as the fact that the access stairs down to the river installed here in 2012 had to be repaired and replaced numerous times and, even after protective armouring was added around their foot, they were removed completely last August. Additionally, during the flood in June 2005, the South Bank Trail through Waskasoo as well as 45th Ave at the intersection with 59th Street were closed because of threats to bank stability.



*Images of slumping and collapse along the river and 45th Avenue.
Photos by Chris Olsen.*

This movement will eventually undercut 45th Avenue, forcing the City to move the road to the east into the municipal reserve further impinging on an already narrowed wildlife corridor. Any further reinforcement of the escarpment to stop erosion and protect private property will remove the native vegetation along the riverbank, destroying the riparian zone

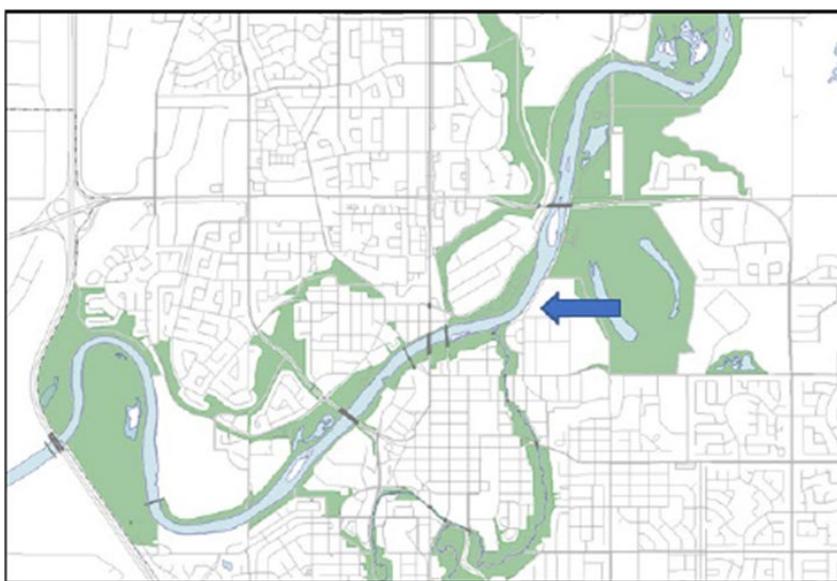
that keeps the river and surrounding natural area alive and healthy, and cost city taxpayers millions of dollars.

In their *Watershed Management Proposal*, the Red Deer River Naturalists state that “erosion of riverbanks due to the ... failure to provide sufficient developmental, residential ... setback from the top of the river valley escarpment” threatens water quality (4) and the long-term stability of the escarpment (7). Again, development at 4240 59 St. must be set back as far as possible from the river and the curve that gave Riverglen its name.

iv. *Ecology*

A large multi-family structure located along the south side of the lot along 59th Street will impact more than just the watershed. It will also harm the area’s ecology and fragment wildlife habitats in the entire Red Deer River Valley. Small mammals, songbirds, herptiles, invertebrates, and ungulates rely on the continuity of the riparian vegetation strip to functionally link the larger systems of Waskasoo and Piper Creeks, and Fort Normandeau to the south and west, with the Gaetz Lakes Sanctuary, Mackenzie Lakes, Three Mile Bend, and the Riverbend Golf and Ski Area to the north and east. Linked corridors provide a conduit for gene flow southwest to northeast across Red Deer for a diverse range of flora and fauna and are essential to an ecologically functional park system.

As the park map below demonstrates, the thin and slumping remnant of the riparian zone and wildlife corridor along 45th Avenue is already dangerously narrow in terms of habitat values and the strip next to this lot is a tenuous link that has been relying on the Open Space – Major character of the schoolyard to function.



Site within the connected park and trail system (From City of Red Deer Webmap). Green areas protected indicate park areas.

There are also already significant incursions here such as at the look out on the corner of 45th and 59th St. An apartment located along the entire south end of 4240 59 St. with its associated paved parking and access road, increased human activity, light from windows and vehicles, noise pollution, and potential pesticide use will threaten the environment and further interrupt the wildlife corridor, forcing wildlife onto the road becoming a danger to themselves and to traffic. Once again, you do not need to rely on our word. See the responses submitted by WEES, the Gaetz Lakes Sanctuary Committee, Red Deer River Naturalists, Ron Bjorge (M.Sc., Certified Wildlife Biologist and former Director of Wildlife for the province), and Chris Olsen (Professional Biologist (retired), former Instructor of Environmental Sciences, Lakeland College, Vermillion).



Image from north end of property looking south along 45th Ave and the Red Deer River. Note the slump, the curve of the river, and the narrow riparian strip. Photo by Chris Olsen.



Image of 45th Ave pull out and trail overlook.



Image of 45th Ave along 4240 59 St. Note narrow riparian width, impinged wildlife corridor, as well as lack of curbs, sidewalks, and street lighting.

The environmentally safest, cheapest, and most efficient way to address river movement and wildlife corridors here is to keep development on the east side of 4240 59 St. where it is grouped with the other area buildings and can share their access road.

NEIGHBOURING PROPERTIES

As stated above, this development will negatively impact the use, value, and enjoyment of neighbouring properties.

Because it creates a trail hazard and because of all the environmental reasons outlined above as well as in the submissions from the Waskasoo Environmental Education Society, Gaetz Lakes Sanctuary Committee, and the Red Deer River Naturalists, and others, this development will impact the use and enjoyment of the public lands surrounding this property.

It will also deeply impact the use and enjoyment of private properties along 59th St. and down 45th, 44th, and 43rd Avenues. Its size and location on the lot will obstruct longstanding views and vistas of the rural open space uncommon in other areas of the city, the current river escarpment to the northwest, and the forest on the rise of the ancient river escarpment to the northeast.

As it blocks views and vistas, it also creates overlook from 24 balconies and 85 windows not only into front yards and windows but also into the rear yards of the homes that side onto 59th Street and some that back onto the intersecting avenues and alleyways.

It stands to reason that losing the views and vistas to the north and having at least 24 dwellings overlooking your front and rear yard and into your windows would almost certainly lower the value of a property. The impact on property values is even more appalling since homeowners here have made considerable investments to enhance their access to those views including installing larger windows, building elaborate decks, and even turning their homes so they face the greenspace.

This is not a case of buyer beware. These homes have had those views protected by Open Space PS land uses for 75 years as well as with the Area Redevelopment Plan and Environmental Character Statements put in place by the City of Red Deer in 2016 (four years before the developer purchased this lot). The development plan also does not help neighbours' real estate values because it sites the face of the building to the north, cutting off any sense of connection between the apartment building and the neighbourhood to the south. Not only will Waskasoo residents lose their privacy and views, but they will also be forced to look at the building's unremarkable rear.

CONCLUSION

This development permit should be refused for the following reasons:

1. **It does not meet many of the regulations laid out in the Zoning bylaws and Environmental Character Statements** including *shall* and *should* statements involving views and vistas, mature street character, character area character, tree preservation, fencing, permeable surfacing, and preserving the natural road boundary.
2. **It will unduly interfere with area amenities** including views and vistas, trails, traffic, pedestrian safety, and the environment,
3. **It will materially interfere and affect the use, enjoyment and very possibly the value** of neighbouring properties because of siting and overlook.

The WCA Board understands that East Lincoln Property owns the land and has the right to develop it. However, that right is not absolute, and any development must fit within the Zoning Bylaws and policies, most critically the Waskasoo Area Redevelopment Plan and Environmental Area's Character Statements (see attached.) As we have shown in past submissions to the City and presentations to City Council, there are ways this lot can be developed that do work within the Character Statements and Open Space – Major long term land use. These would include an outdoor recreation field, a small, low-impact cultural facility (e.g. the Red Deer Archives or Museum and Art Gallery), perhaps even the Indigenous Cultural Centre that is looking for a home. As we stated in our presentation to City Council in 2023, even a small Supportive Living Accommodation or temporary care facility like the Red Deer Hospice could potentially work here.

Note in the PS Regulations Table from the Zoning Bylaws on page 3 above, Bylaw Regulation 9.40.5 states that for PS developments:

The site plan, relationship between Buildings, structures and Open Space, architectural treatment of Buildings, provision and architecture of landscaped Open Space, and Parking layout will be subject to the Development Authority's approval.

MPC is the development authority and has the right to consider all these components when deciding on this application. We request you deny this permit, and encourage East Lincoln Property to consult meaningfully with representatives from the community and other stakeholders including WEES, the Gaetz Lakes Sanctuary Committee, the Red Deer River Naturalists, and the area schools and school boards.

Respectfully submitted the Waskasoo Community Association Board
November 13, 2025

Below please find:

A list of Sources Used

A copy of the 2023 letter from the Red Deer River Watershed Alliance

A copy of the Waskasoo Area Redevelopment Plan and Character Statements

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Orlando Toews
City Planning and Growth Department
City of Red Deer

December 9, 2022

**Re: 4240 – 59 Street
Proposed Amendments to the Land Use Bylaw (Bylaw 3357/A-2023) and the
Waskasoo Area Redevelopment Plan (Bylaw 3567/A-2023)**

Dear Mr. Toews,

It has recently come to the attention of the Red Deer River Watershed Alliance (RDRWA) that the City of Red Deer City Planning & Growth Department has received an application from the owners of 4240-59 Street requesting that the Land Use Bylaw (LUB) and the Waskasoo Area Redevelopment Plan (ARP) be amended to identify this parcel of land for higher density residential uses (i.e. R3) and rezone from its current designation of Public Service Lands (PS) (City of Red Deer, 2022). It is our understanding that as part of the City of Red Deer's application review process, all landowners in the Waskasoo neighbourhood are to be provided with an opportunity to review and comment on the proposed amendments. Although the RDRWA is not considered a direct resident of the Waskasoo neighbourhood, we are the designated provincial Watershed Planning and Advisory Council for the Red Deer River watershed. The RDRWA is writing to express concerns around these proposed amendments to the Waskasoo Area Redevelopment Plan. This development has the potential to negatively influence water quality, hydrology and habitat in the lower Waskasoo subwatershed and proximal downstream reach of the Red Deer River.

As a key partner in watershed management, the RDRWA values the longstanding and collaborative nature of our relationship with the City of Red Deer. The City of Red Deer and the RDRWA have worked together on several important initiatives since 2005, including the RDRWA's State of Watershed Report (2009a), and *Blueprint: An Integrated Watershed Management Plan (IWMP) for the Red Deer River Watershed* (2016). The RDRWA has also provided input and helped to set targets for the City of Red Deer's Water Conservation, Efficiency and Productivity Plan (2016), and the City of Red Deer's Environmental Master Plan (2019). We commend the City of Red Deer for its leadership and its inclusion of Watershed Protection as a key policy in the City of Red Deer's Municipal Development Plan (2013). Section 18.2 states that "The City shall participate in the activities of the Red Deer River Watershed Alliance in order to promote the effective integration of the management and use of land and water resources to ensure a legacy of ecological integrity and economic sustainability throughout the Red Deer River watershed." Additionally, a key goal of the IWMP is to maintain or improve the water quality in the Red Deer River by evaluating conditions relative to the site-specific water quality objectives (RDRWA 2016). To continue to meet IWMP water quality objectives in the mainstem, point and non-point source loadings (wastewater and stormwater runoff inputs) need to be cumulatively managed in this reach of the Red Deer river. The RDRWA have a vested interest in all developments in

close proximity to the river and its tributaries to ensure potential impacts are properly evaluated and mitigated. News regarding this development was not brought to our attention until recently, so we appreciate you considering our input after your original deadline.

The RDRWA has reviewed letters of concern submitted to the City of Red Deer from the Red Deer River Naturalists (RDRN) and the Waskasoo Community Association (WCA) related to this proposed land use change. In our opinion, the Waskasoo Community Association has provided a thoughtful and well-documented response to the proposed amendments and rezoning, and we support their comments as outlined in Section 4 - Environmental Concerns. Waskasoo Creek is the smallest sub-watershed in the Red Deer River basin, and it is an important tributary running through the City of Red Deer (RDRWA 2009).

The parcel of land proposed for rezoning is located in the downstream end of the Waskasoo Creek sub-watershed, in close proximity to the Gaetz Lakes Migratory Bird Sanctuary and the Kerry Wood Nature Centre. The area is prioritized as a hydrologically significant area (NCC & RDRWA 2021), being located relatively close (~30 meter) to the Red Deer River and having a narrow riparian zone. The RDRWA believes that any development in this location has the potential to negatively impact the environment. This would be contrary to the intent of both the City of Red Deer's Municipal Development Plan and City of Red Deer Environmental Master Plan (2019; Focus Area 1.2.2.1). Which has as part of its central goal which includes "*Sustaining our water resources includes understanding and effectively managing issues such as water conservation, water quality protection, watershed well-being, and storm and surface water management*". Land use changes and the subsequent changes in management practices have the potential to impact both water quantity and quality within Waskasoo Creek and the downstream Red Deer River reach. The RDRWA has concerns with wetland and riparian loss as it creates terrestrial and aquatic habitat fragmentation with negative consequences to wildlife, fish and other organisms in adjacent and receiving downstream aquatic environments. Given the close proximity of the proposed development to the Red Deer River, we were also surprised a storm and surface water management plan was not included with the information to stakeholders.

The RDRWA works to promote watershed health and particularly to maintain or restore riparian areas. Riparian lands have substantial ecological, economic, and social value, and as such, the effective management of these habitats is a critical component to the maintenance of watershed health. From 2020-2022, the RDRWA conducted a comprehensive riparian habitat assessment of the Medicine-Blindman Rivers sub-watersheds, which includes Waskasoo Creek (Fiera 2022). These areas have been identified by the RDRWA as an important source water protection zone for the City of Red Deer and downstream municipalities and are considered a high priority for flood and drought mitigation. Riparian areas play a vital role in the interception of sediments and nutrients that runoff from adjacent upland areas. Riparian vegetation also provides shade and regulates water temperature, ensuring suitable habitat for a range of aquatic species. Furthermore, riparian habitats stabilize the banks of waterbodies and help modulate water velocities and high-water events, thereby improving water quality and protecting surrounding lands from flooding. Given the significant role that an intact riparian zone has on providing ecosystem services and supporting healthy and functional aquatic ecosystems, there is a need for effective management and conservation of riparian areas.

Of the 24 named waterbodies assessed by the RDRWA in the State of the Watershed report (2009b), Waskasoo Creek was one of six creeks that had more than 50% of their shorelines classified as either High or Moderate Restoration Priority. The RDRWA encourages the City of Red Deer to continue to focus on minimizing impacts and cumulative land use change and maintain no net increase in local catchment pressure and protect and restore riparian areas. The Waskasoo Creek sub-watershed was also identified as an important groundwater recharge area within the Red Deer River watershed (4.7.4.5 RDRWA 2009a). The RDRWA SOW (2009b) also identified substantial data gaps for the Waskasoo Creek sub-watershed. Knowing where groundwater recharges and discharge areas occur help to identify areas requiring special protection and limitations, particularly to below grade land use development.

It is our recommendation that the City of Red Deer continue to carefully consider the potential implications of any proposed land use changes within the Waskasoo Creek sub-watershed, and evaluate and present land use planning decisions with supporting information on: baseline water quality conditions, hydrology and hydraulic modelling and assessments (e.g. GOA 2022; Red Deer River Hazard Study), channel stability assessments, storm water management, and surface and groundwater interaction assessments under flood prediction modelling for below grade developments.

The RDRWA is committed to continue working with the City of Red Deer to advance shared watershed management planning around water quality, riparian areas and wetlands, and land use. Based on existing information, the RDRWA has concerns with the information provided on the land use change and proposed development. We hope that the City of Red Deer will take our comments into consideration and keep us informed of further details of this potential development. We would be willing to complete a more thorough review if adequate time and additional relevant studies were made available. We would also appreciate being apprised of other prospective developments within the Red Deer River corridor into the future.

As a longstanding and valued partner of the RDRWA, we look forward to continuing to work with the City of Red Deer on environmental and planning-related activities. We are committed to working collaboratively with the City to advance watershed management objectives and strengthen our shared understanding of hydrological and ecological processes that support our collective vision of maintaining a lasting legacy of watershed integrity and ecological health for the citizens of Red Deer and the broader watershed.

Sincerely,

A handwritten signature in black ink that appears to read "Francine Forrest".

Executive Director

On behalf of The Red Deer River Watershed Alliance

List of References

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GARRY J.
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WASKASOO
WASKASOO
Memorial Centre
Lindsay Thurber School
Camille J. Lerouge School
Corner Store
Woodlea

Gaetz Lakes

WASKASOO

AREA REDEVELOPMENT PLAN

Waskasoo is a neighbourhood of trees and trails, rivers and creeks, beautiful old homes and great schools. Our diverse community values and shares a wealth of natural, artistic and historical riches.

Bylaw Number: 3567/2016
Adopted by City Council
on: February 1, 2016

THE CITY OF
Red Deer

www.reddeer.ca/waskasoo

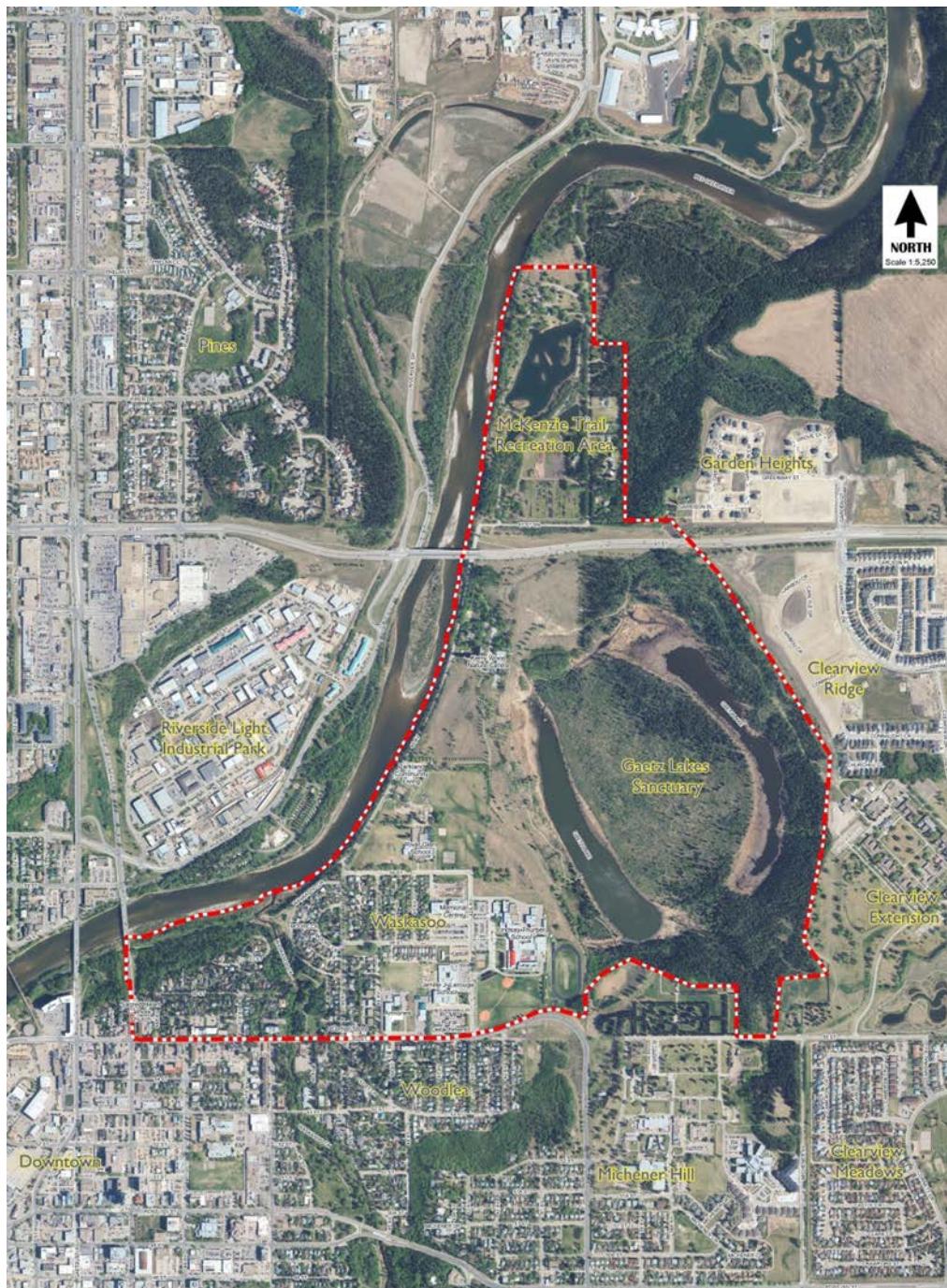


FIGURE 1 - AERIAL PHOTO OF THE WASKASOO PLAN AREA

Waskasoo Neighbourhood Plan

Area Redevelopment Plan

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Appendices

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Waskasoo Neighbourhood Plan

Area Redevelopment Plan

1.0 Introduction

The Waskasoo neighbourhood contains historical homes, tree lined streets, a variety of public service facilities and an abundance of parks and open spaces. Located near the Red Deer River and north of The City's downtown core, Waskasoo plays an important role in Red Deer's cultural and natural history. The Waskasoo Neighbourhood Plan has been prepared to guide the future development and redevelopment of the Waskasoo neighbourhood and is divided up into two parts based on their approval processes and implementation responsibility:

Part 1: Area Redevelopment Plan. The Area Redevelopment Plan (ARP) contains the statutory portion of the Waskasoo Neighbourhood Plan and The City of Red Deer is responsible to lead the implementation. In the *Municipal Government Act*, an Area Redevelopment Plan is defined as a statutory plan, meaning it must be adopted by Council under a Bylaw. The ARP policies address identity, land use, and movement. Character Statements are introduced to capture the character defining attributes of a specific geographic area and determine the compatibility of a development or redevelopment proposal. These Character Statements will be contained in *Redevelopment Design Guidelines*, a planning tool that prescribes design regulations for redevelopment proposals.

The ARP portion of the Waskasoo Neighbourhood Plan was adopted by Council on February 1, 2016 under Bylaw 3567/2016.

Part 2: Community Plan. The Community Plan (CP) is the non-statutory portion of the Waskasoo Neighbourhood Plan. A non-statutory plan is approved by Council as a planning tool to assist the community in achieving the vision created for their neighbourhood. The CP component contains community-led policy recommendations where The City of Red Deer and the community will work in conjunction with the Waskasoo Community Association to accomplish these recommendations.

The CP portion of the Waskasoo Neighbourhood Plan was adopted by Council on February 1, 2016 under resolution number 5.

These two separate but interlinked parts of the Waskasoo Neighbourhood Plan clearly illustrate the collaborative approach needed between The City of Red Deer and the Waskasoo community to achieve the objectives of the overarching Waskasoo Neighbourhood Plan. The two plans were prepared together and then separated based on their different approval processes and where implementation responsibility lays.

1.1 Mandate and Alignment with Other Plans

The preparation of the ARP component is authorized under section 634 of the *Municipal Government Act* (MGA) and section 635 of the MGA specifies that the following items must be addressed in an ARP:

- a) (an ARP) must describe:
 - i. The objectives of the plan and how they are proposed to be achieved,
 - ii. The proposed land uses for the redevelopment area
 - iii. If a “redevelopment levy” is to be imposed, the reasons for imposing it, and
 - iv. Any proposals for the acquisition of land for any municipal use, school facilities, parks and recreation facilities or any other purposes the Council considers necessary, and
- b) May contain any other proposals that the Council considers necessary.

Section 638 of the MGA requires that all statutory plans adopted by Council are consistent with one another. The two governing statutory plans for the Waskasoo neighbourhood are The City of Red Deer *Municipal Development Plan* and a portion of the plan area falls within the *East Hill Major Area Structure Plan*; the ARP is consistent with the direction contained in these statutory plans.

Development and redevelopment of the Waskasoo neighbourhood is also guided by the following non-statutory plans and other planning documents:

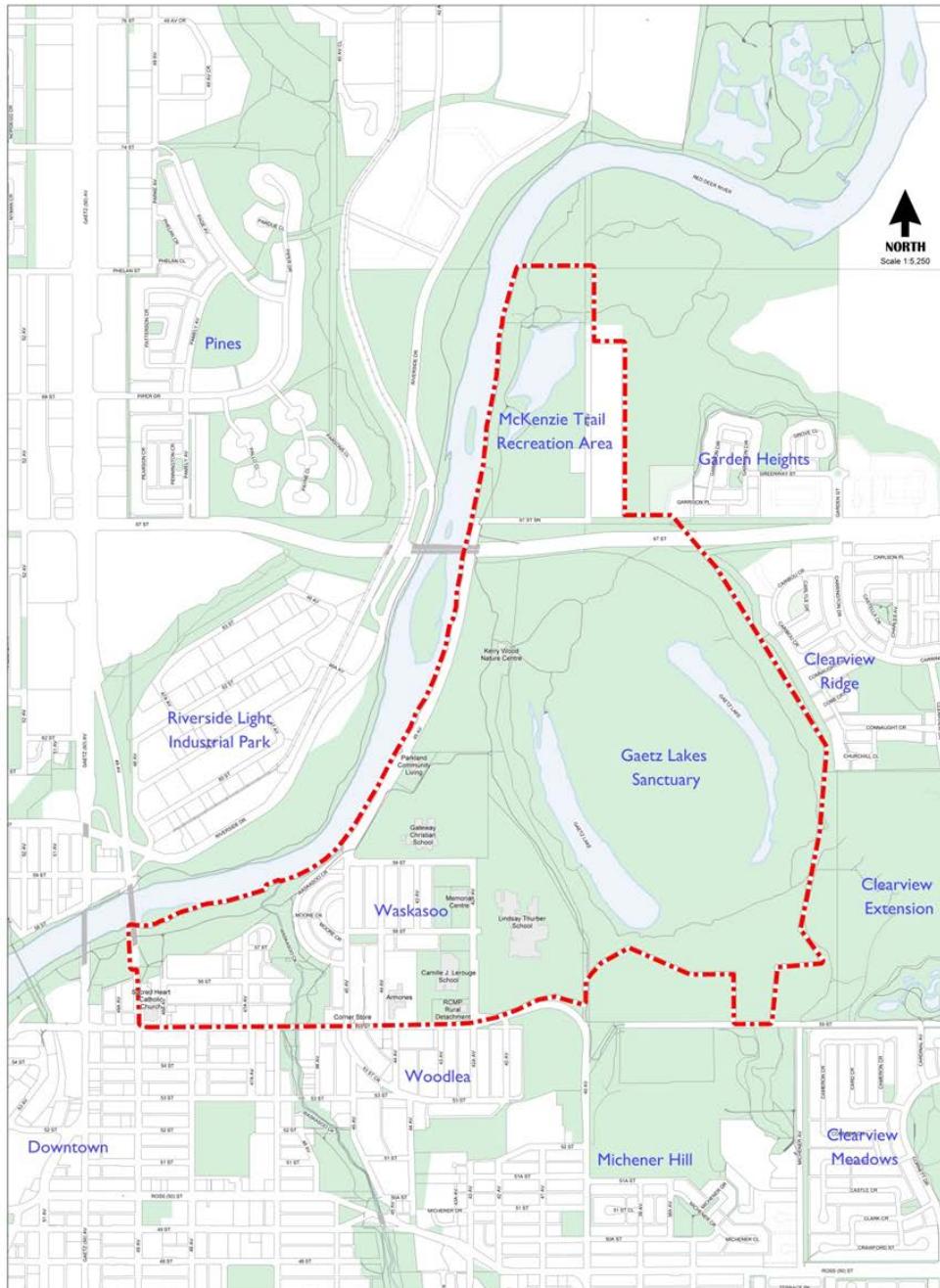
- *Red Deer Trails Master Plan*;
- *Greater Downtown Action Plan*;
- *Waskasoo Park Interpretive Master Plan*;
- *Land Use Bylaw 3357/2006*;
- *Council’s Strategic Plan*; and
- *Neighbourhood Planning and Design Standards*.

The MGA does not require the ARP be consistent with the aforementioned non-statutory plans and other planning documents; however care has been taken to ensure the ARP complies with the direction contained within them.

Any redistricting (rezoning) that takes place subsequent to the adoption by Council of this document will require an amendment to the plan to align with the change unless exempted herein. There are no proposed changes to the Land Use Districts (zoning).

1.2 Interpretation

Wording contained in the ARP policies are intentional and contain “shall”, “should” and “may” statements. Policy statements that contain “shall” are those which must be followed. “Should” statements mean compliance to the policy is required but the Development Authority has some discretion based on the circumstances of the specific case. “May” statements indicate that the Development Authority determines the level of compliance that is required.



Legend

- Plan Area Boundary
- Trail Paths
- Park / Open Space

WASKASOO PLAN AREA MAP

THE CITY OF
Red Deer

Source: City of Red Deer Planning Department
Date: January 21, 2015

FIGURE 2 – WASKASOO NEIGHBOURHOOD PLAN AREA

2.0 Vision

An integral part of preparing the Waskasoo Neighbourhood Plan was determining a vision for the community. A community identity workshop was hosted on May 8, 2014 at the Streams Christian Church where Waskasoo landowners, residents and stakeholders worked together to find a common vision for the Waskasoo Neighbourhood Plan. The following community vision was established:

“Waskasoo is a neighbourhood of trees and trails, rivers and creeks, beautiful old homes and great schools. Our diverse community values and shares a wealth of natural, artistic and historical riches.”

2.1 Objectives

The MGA requires identification of the ARP objectives. These objectives are established to achieve the community vision by forming the basis for the policies contained within. As Waskasoo redevelops and evolves throughout time, the ARP is set out to accomplish the following objectives:

1. Ensure development and redevelopment of properties is sensitive to the existing neighbourhood character and pattern of development created by street design, lot sizes and distribution, mix of uses and general density of development.
2. Maintain Waskasoo's extensive parks and open space.
3. Preserve and maintain environmental, historical and cultural features.
4. Maintain and enhance trail and pedestrian connections.
5. Encourage the enhancement and maintenance of all properties.

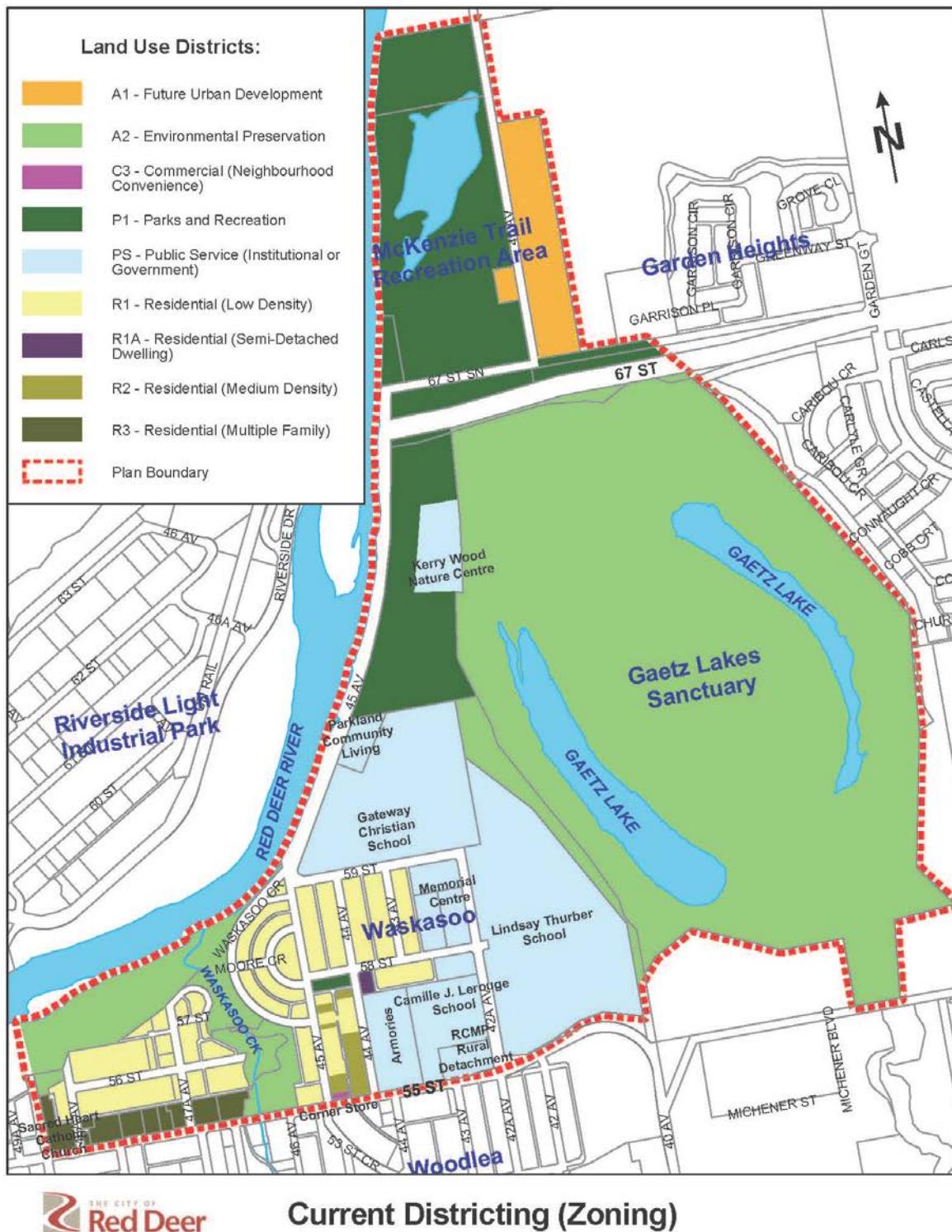


FIGURE 3 – WASKASOO NEIGHBOURHOOD PLAN AREA CURRENT DISTRICTING (ZONING)

WASKASOO

AREA REDEVELOPMENT PLAN



VISION

Waskasoo is a neighbourhood of trees and trails, rivers and creeks, beautiful old homes and great schools. Our diverse community values and shares a wealth of natural, artistic and historical riches.

PLAN OBJECTIVES

- 1 Ensure development and redevelopment of properties is sensitive to the existing neighbourhood character and pattern of development created by street design, lot sizes and distribution, mix of uses and general density of development.
- 2 Maintain Waskasoo's extensive parks and open space.
- 3 Preserve and maintain environmental, historical and cultural features.
- 4 Maintain and enhance trail and pedestrian connections.
- 5 Encourage the enhancement and maintenance of all properties.

PLAN RECOMMENDATIONS

IDENTITY

1 Maintain Character

Redistricting, development, redevelopment, and subdivision shall conform to the *Land Use Bylaw*, and reflect the Character Statements (Appendix I) and the *Redevelopment Design Guidelines*.

2 Maintain Tree Cover

The Development Authority may require a Tree Preservation Plan as part of a Development Permit Application. If required, a Tree Preservation Plan must contain details about the existing landscaping on the lot(s), including the approximate diameter of trees (measured at breast height (ie) 1.3 metres above ground) and a written statement by a qualified professional on the health of the tree(s) proposed to be removed, retained or relocated shall accompany the Tree Preservation Plan.



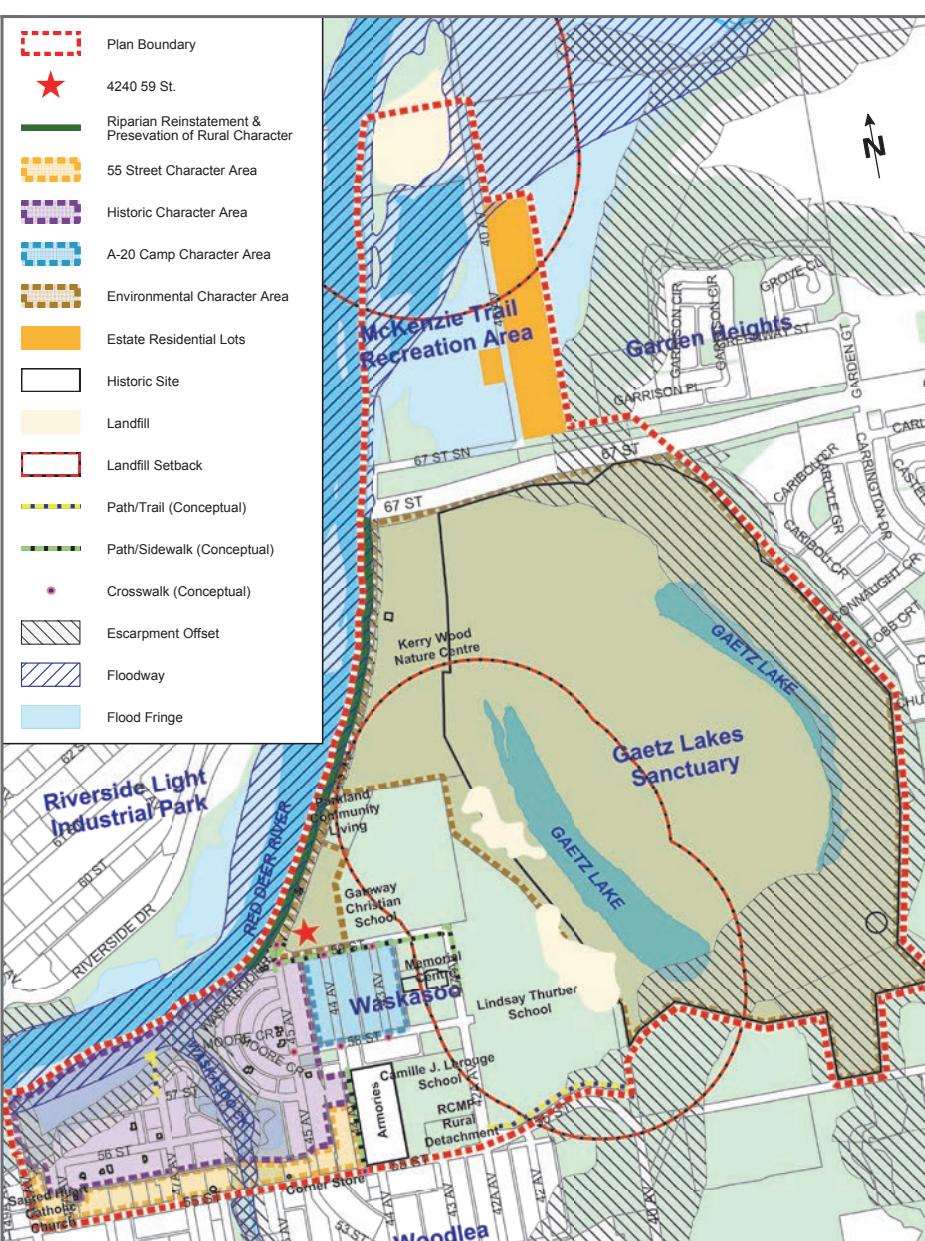
MOVEMENT

7 Missing Links

Sidewalks that are missing or desired will be included in the Capital Sidewalk Program. (Appendix 3) All new or replacement sidewalks and trails should meet the applicable municipal construction standards in place at the time. The City of Red Deer Recreation, Parks and Culture Department, Parks Section and the Waskasoo Community Association to investigate the potential of adding a natural trail to the riverbank.

8 Parks and Trail Network

The Waskasoo Park Interpretive Master Plan and other, new or subsequent applicable documents such as the Red Deer Trails Master Plan shall guide development and redevelopment in Waskasoo Park, the Gaetz Lakes Sanctuary, Kerry Wood Nature Centre and the McKenzie Trails Recreation Area. Efforts should be made to reduce tree loss and impacts to root zones.



IMPLEMENTATION

Maintain Character

The City of Red Deer will initiate amendments to the *Land Use Bylaw* to reference the *Redevelopment Design Guidelines* and expand the applicable residential and commercial land use districts.

Maintain Tree Cover

The City of Red Deer undertook in October, 2015, amendments to the *Land Use Bylaw* which enabled the Development Authority to require additional information at the Development Permit Application stage.

Preservation of Rural Character

Throughout review and implementation, the City of Red Deer will address concerns identified by Federal and Provincial Regulations such as, but not limited to, the protection and enhancement of fish and wildlife habitat, ecosystems and historical resources within riparian areas. The review will assist in determining the most beneficial road cross section for 45th Avenue, north of 59th Street, aiming to retain its rural character within the riparian area and the gateway to the Gaetz Lakes Sanctuary/Kerry Wood Nature Centre. Long range options should be considered to improve the long term health of the river bank.

LAND USE

3 4240 – 59 Street

4240 – 59th Street shall retain its current PS Public Service (Institutional or Governmental) District designation. Additional studies, such as a Geotechnical Assessment, Traffic Impact Assessment and a Servicing Study shall be required to support an application for development or redevelopment.

4 Estate Residential Lots

All estate residential lots (currently zoned AI) shall not have any further intensification through an increase in the number of dwelling units, including secondary suites, or lots.

5 Low Impact Commercial Overlay District

Any applications received for a Low Impact Commercial Overlay District within the Waskasoo Plan area will not require a Plan Amendment.

6 Designation of Historic Sites

Owners of historic homes are encouraged to work with The City to designate properties as Historic Sites. Designation will assist in the long term preservation of these unique and important pieces of Red Deer's history. (Appendix 2)



www.reddeer.ca/waskasoo

Questions? Contact the Planning department at 403-406-8700 or planning@reddeer.ca

Waskasoo Character Statements

City of Red Deer Planning Department

These Character Statements form part of the Waskasoo Area Redevelopment Plan and are incorporated into and form part of The City of Red Deer Land Use Bylaw

Waskasoo Character Statements

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1. Introduction

All neighbourhoods contain the same basic elements; individual properties, and public infrastructure such as streets, sidewalks, lighting, and utilities. What establishes the character of a neighbourhood is the relationship and design of these basic elements. When redevelopment of private property or public infrastructure occurs, concerns over losing the “character” of a neighbourhood are often raised. The following Character Statements define the “character” of a specific geographic area by capturing the design elements that make one geographic area different from another.

Character Statements are not necessary for every neighbourhood in The City of Red Deer, they are useful for specific geographic areas that meet the following criteria:

- They contain a combination of elements that together make an area unique or special; or
- The ‘Character’ is specifically identified and design guidance given to redeveloping an area intentionally.



Each Character Statement contains the following information which serves to define the overall characteristics:

- Character Statement Area Map
- Context and History
- Common Forms and Scale of Buildings
- Common Building Materials
- Other Common Elements
- Recommended Design Elements

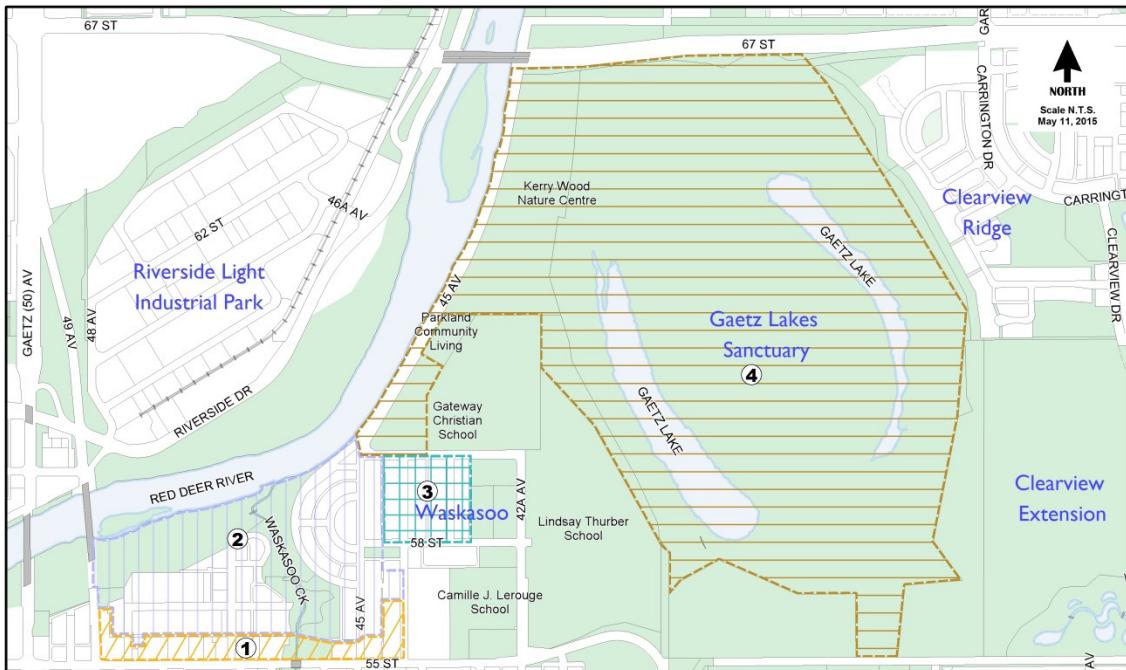
1.1 Intent of Character Statements

The intent of the Character Statements is to define some design parameters to which a new proposal for redevelopment within a defined area should adhere.

The Character Statements specific to the Waskasoo neighbourhood were developed with assistance from community members and the Waskasoo Community Association. Their assistance made it possible to create these Character Statements and their sincere efforts are greatly appreciated.

The Waskasoo neighbourhood is divided into four (4) distinct Character Areas, highlighted in the following map. Character Statements have been created for each of the four (4) Character Areas.





WASKASOO PLAN AREA CHARACTER AREA MAP

- Plan Area Boundary
- ① 55 Street Character Area
- ② Historic Core Character Area
- ③ A-20 Camp Character Area
- ④ Environmental Character Area

All of the photographic images used in the following Character Statements, unless otherwise noted, were taken by The City of Red Deer Planning Department in 2014 or 2015, or contributed by the community. Assistance from the community, by the Waskasoo Community Association, and their individual members are greatly appreciated and recognized.

1.2 How Character Statements are Applied

When an application for development permit to redevelop a lot, or a subdivision application is received, City Administration will evaluate the application based on conformity with:

- The City of Red Deer statutory plans (including but not limited to the *Municipal Development Plan, Area Structure Plans, Area Redevelopment Plan*);
- The *Land Use Bylaw*;
- Consultation with internal City departments and landowners within 100 m of the subject lot;
- The *Redevelopment Design Guidelines* planning document;
- The applicable Character Statement; and
- The contents of the Letter of Intention submitted by the Applicant with Development Permit applications for redevelopment within a Character Statement area.

Character Statements are a planning tool that will be applied in conjunction with the generally applicable *Redevelopment Design Guidelines* and The City of Red Deer's *Land Use Bylaw* to evaluate if an application maintains the character of the area. Where the regulations in the *Land Use Bylaw* or the *Redevelopment Design Guidelines* conflict with the



Character Statements, the Character Statements shall prevail. The Context and History, Common Forms and Scale of Buildings, Common Building Materials and Other Common Elements sections within each Character Statement identify various aspects that add to the distinct character and should be considered when evaluating whether a proposed development complements or maintains the character of the area.

A Letter of Intention shall be submitted by the Applicant with Development Permit applications for redevelopment within a Character Statement area addressing how the proposal is sensitive to the Immediate Street Context as identified in the relevant Character Statements.



The Character Statements may only be amended in accordance with the procedures set out in the Municipal Government Act for amendments to a Land Use Bylaw.

1.3 Properties Designated Historical Preservation or Historical Significance

Applications for properties that are identified in the City of Red Deer's LUB as HP (Historical Preservation) or HS (Historical Significance) are to be reviewed applying the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as Alberta's *Creating a Future for Alberta's Historic Places*. The Federal and Provincial requirements take precedence over The City of Red Deer's requirements.

1.4 Interpretation

Wording contained in the following Character Statements are intentional and contain "shall", "should" and "may" statements. Character Statements that contain "shall" are those which must be followed. "Should" statements mean compliance is required but the Development Authority has some discretion based on the circumstances of the specific case. "May" statements indicate that the Development Authority determines the level of compliance that is required. Terms identified by capitalized first letter are found in the Definitions section of this document.

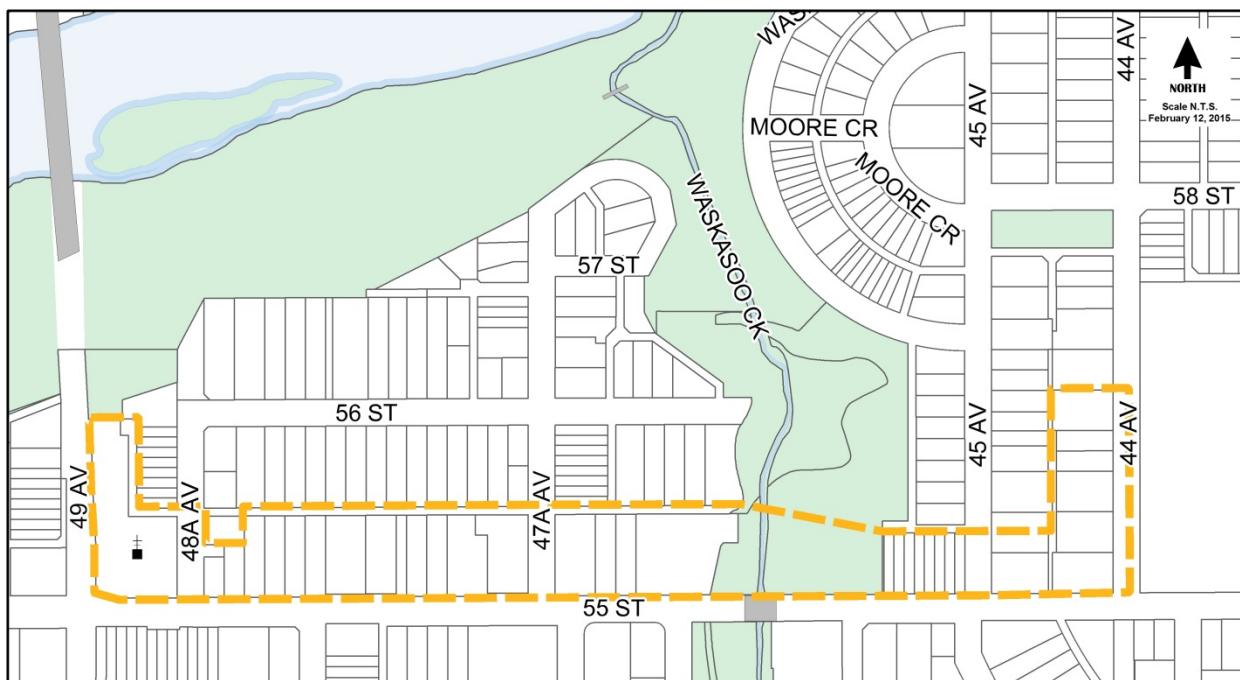
Tree Preservation is important to the Community consequently the following Waskasoo Area Redevelopment Identity Policy 2 – Maintain Tree Cover applies to all Character Areas.



The Development Authority may require a Tree Preservation Plan as part of a Development Permit Application. If required, a Tree Preservation Plan must contain details about the existing landscaping on the lot(s), including the approximate diameter of trees (measured at breast height (ie) 1.3 metres above ground) and a written statement by a qualified professional on the health of the tree(s) proposed to be removed, retained or relocated shall accompany the Tree Preservation Plan.

2. 55th Street Character Statement

2.1 Character Statement Area Map



WASKASOO PLAN AREA
55 STREET CHARACTER AREA

2.2 Context and History

The 55th Street area is predominantly comprised of walk-up style apartment buildings, with the exception of the ten (10) existing single detached dwellings on the eastern limits of the Character Area, a commercial site at the corner of 45th Avenue and 55th Street, and the Sacred Heart Catholic Church at the corner of 49th Avenue and 55th Street. As 55th Street became more of a major thoroughfare the single detached dwellings were, for the most part, replaced with walk-up style apartment buildings.



Single Family
Dwelling



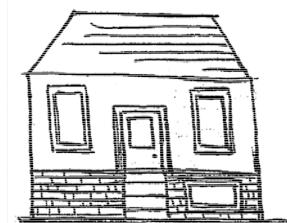
Walk-up Style Apartment

Apartment Building on 55th St.

The single detached dwellings were the first style of residence built in the Character Area, and were built between 1928 and 1956. The original Sacred Heart Catholic Church was constructed in 1925. It was replaced with the existing larger church Building in 1959. The multiple family apartment Buildings that replaced the original single detached dwellings were built between 1963 and 1979.

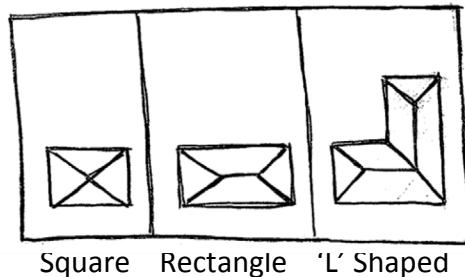
2.3 Common Forms and Scale of Buildings

- Apartment Buildings ranging from 2 to 3 storeys that are raised a half-storey to allow light into the basement units.
- Apartment Buildings generally have vehicular access and gravel parking areas located at the rear with a generous, landscaped Front yard.
- The single detached dwellings are all 1 or 1½ storeys with very simple traditional square, rectangular, or 'L' shaped Building footprints with minimal decorative details.
- The Sacred Heart Catholic Church is a unique, purpose-built Building with large gravel parking area to the north of the Building and fully exposed to 49 Avenue



2.4 Common Building Materials

- Brick
- Wood
- Stucco
- Metal
- Vinyl siding/cladding



Raised ½ Storey



Apartment Buildings along 44th Avenue



Apartment Building on 55th Street

2.5 Other Common Elements

- Apartment Buildings with projecting balconies, flat roofs, and prominent front entries

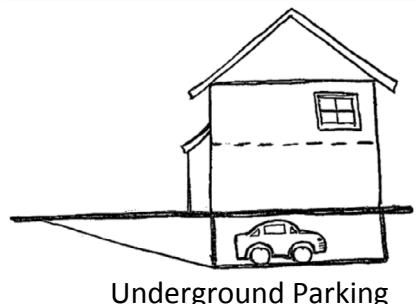
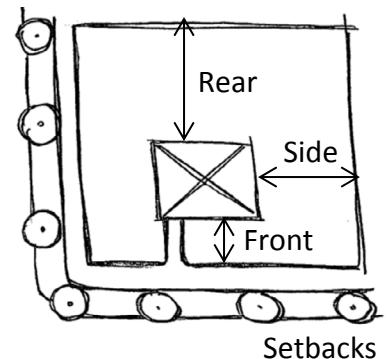
Apartment Building with balconies, flat roof, and prominent front entry



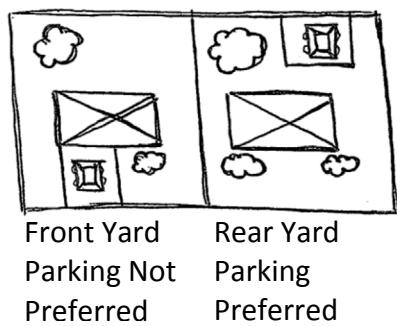
- Mature trees and Landscaping, some trees are identified in the *Land Use Bylaw* as having Historical Significance (HS).

2.6 Recommended Design Elements

1. Front, side, and Rear Yard Setbacks around Buildings shall be maintained to preserve existing mature Landscaping, to allow successive trees to mature or be planted, and to maintain privacy and seclusion. Every effort should be made by property owners to save existing mature trees.
2. Existing specimen conifer and deciduous trees shall be identified on a site plan/tree preservation plan and protected during site construction activities and after by ensuring Buildings, services or Hard Surface areas are not sited too close.
3. New trees planted should be of a species, preferably native, that is currently found in the 55th Street Character Area and tolerant of the streetscape conditions.
4. New multiple family Buildings shall locate parking underground or on Hard Surface parking areas at the rear or side of the Building. Parking areas located in the Front yard shall not be permitted. Parking areas shall be landscaped in accordance with the Landscaping requirements of the *Land Use Bylaw*, shall have direct pedestrian connectivity to the Building and public street, and shall be designed to accommodate the needs of our climate by using such design elements as terracing, canopies or Cantilevers at Building entrances to provide weather protection, and the use of pedestrian and vehicular Scale lighting as appropriate to enhance safety and security.
5. The development and redevelopment of multi-family buildings shall be upgraded in terms of design quality, materials and construction quality as well as Landscaping as deemed appropriate to the highly visible location and proximity to downtown.
6. Multiple family Buildings shall have private, useable balconies that are incorporated into the building design.
7. The use of flat roofs as functional Green Roofs is encouraged.



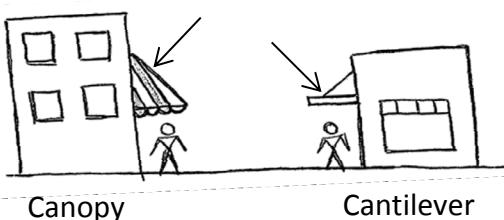
Underground Parking



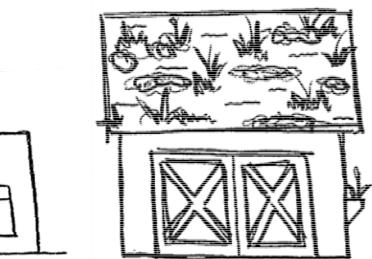
Landscaped Parking



Vehicle and Pedestrian Scale Lighting



Canopy



Cantilever

Green Roof



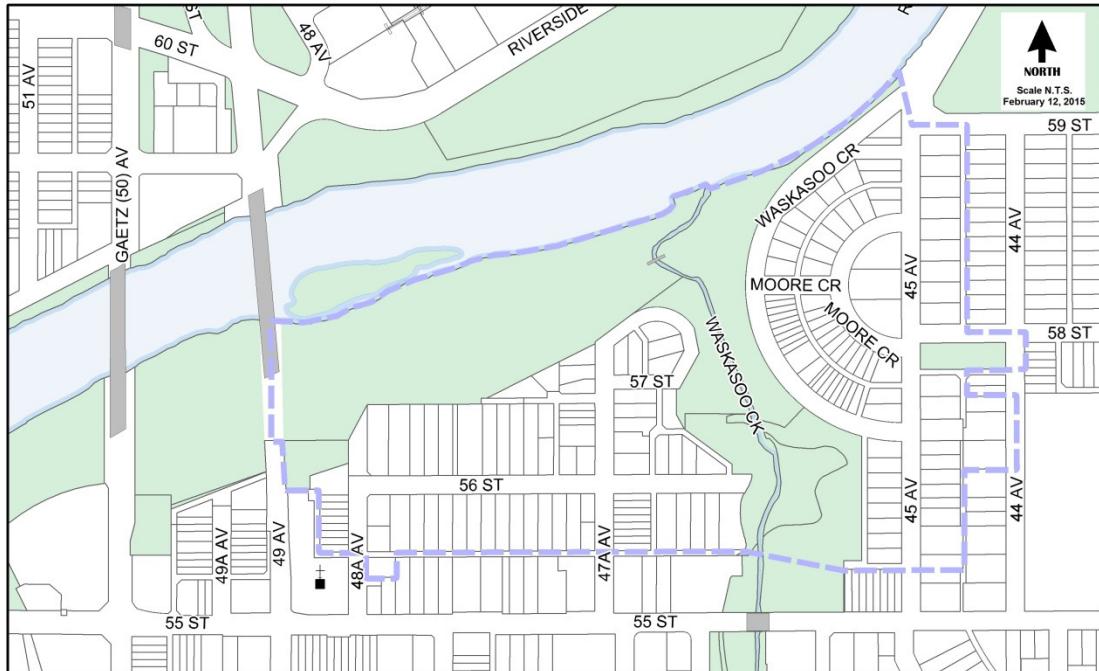
Sacred Heart Church 5508 – 48A Avenue



Apartment Buildings along 55th Street

3. Waskasoo Historic Core Character Statement

3.1 Character Statement Area Map



WASKASOO PLAN AREA
HISTORIC CORE CHARACTER AREA

3.2 Context and History

The Waskasoo historic core includes two separate historic areas bisected by Waskasoo Creek that have many common elements. This Character Area contains a number of historic residences and numerous dwellings constructed in the decade after WW II. The area is significant for its association with the theme of early residential development in Red Deer. Several of the homes were built prior to the economic crash of 1913 as part of the early residential development that occurred in the first decade

of the twentieth century. This Character Area includes a significant number of The City of Red Deer's listed heritage properties.

The Waskasoo neighbourhood is associated with two important Urban Planning movements; the Garden City and City Beautiful. The City Beautiful movement emphasized grandeur, order, symmetry, and harmony in the built environment believing that these qualities would consequently be inspired in the residents. The Garden City movement emphasized the creation/maintenance of parks, green spaces, spacious lawns and gardens. Both sides of the creek exhibit characteristics of both movements. Both movements worked together and focused on different aspects. City Beautiful is a beautification and functional architectural design based movement and Garden City was a city and subdivision urban planning movement. Moore Crescent and Waskasoo Crescent were laid out along Waskasoo Creek and the Red Deer River following these principles thus lending the now century old area a unique charm and park-like quality.



November 1948 - Aerial Photo of the Waskasoo Neighbourhood (Red Deer and District Archives; P210)

East of Waskasoo Creek, the historic homes were built between 1905 and 1923, shortly after William Addison Moore subdivided the land by the river into suburban lots. William Moore was one of Red Deer's founding fathers; he was the Manager of the Western Telephone Company and Western General Electric, and original owner of the historic Moore Residence located along 45th Avenue. Many of the dwellings within this area were built between 1900 and 1912 and began the establishment of the aesthetics of the Waskasoo neighborhood. These Buildings include 2 ½ storey Edwardian style dwellings such as the Moore, Galbraith, Simpson and the Weddell Residences along with 1 ½ storey Craftsman style bungalows such as the Sharman and the Russell Residences.



2 ½ Storey Edwardian Style

West of Waskasoo Creek the central focus surrounds "Son-in-law Row" (56th Street) which is a picturesque, residential street near the downtown and a local landmark in the former subdivision known as River Park. This name, "Son-in-law Row", refers to the fact that some of the dwellings located in this area were originally constructed for the daughters and sons of the early founding father of Red Deer, Rev. Leonard Gaetz. This area also reflects the philosophies of the Garden City and City Beautiful movements, although less rigidly and obviously as Moore and Waskasoo Crescents. The historic dwellings were built between 1903 and the 1930's. There is an additional grouping of post war homes from the 1940's and 1950's and some more modern dwellings as well.

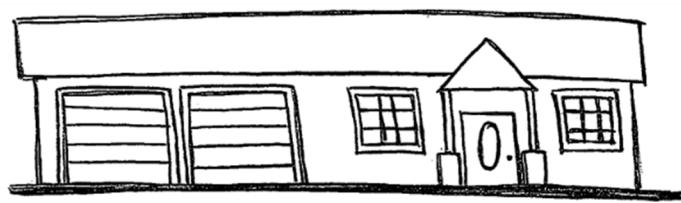


1 ½ Storey Craftsman Style

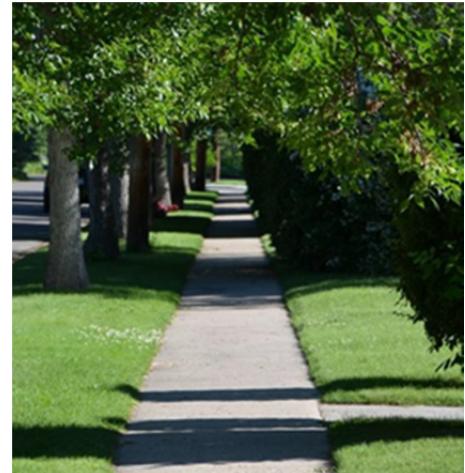
These historic dwellings are joined by numerous 1 storey and 1 ½ storey dwellings built from approximately 1946 to 1955. These dwellings reflect post-war/oil-boom residential development in The City of Red Deer when many small homes were built on lots that had remained empty since the 1913 economic crash. The majority are in the Minimal Traditional and Ranch architectural styles.



Minimal Traditional Style



Ranch Style



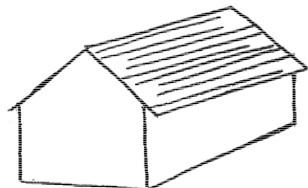
Separated sidewalks with tree lined streets

3.3 Common Forms and Scale of Buildings

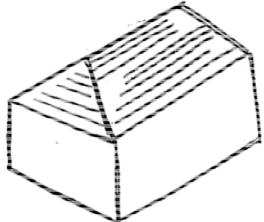
- Pre and post-war single detached dwellings ranging in size from small 1 storey dwellings to large 2 ½ storey dwellings influenced by Edwardian, Queen Anne, Foursquare, Arts and Crafts, Prairie and Craftsman architectural styles. Refer to the definitions section for additional information related to these architectural styles.
- 1 and 1 ½ storey post-war dwellings built in the 1940's and 1950's, in the Minimal Traditional and Ranch architectural styles.
- Gable and Hip Roofs, often with Dormer windows, creating living space within the roof and

some type of porch entry feature with a Prominent Entry are common. The use of cornices, Dentils and decorative shingle cladding in the Gable ends is a common feature as is a symmetrically designed front façade with a prominent main entrance.

- Detailing from other architectural styles, such as Gothic or Tudor, often Scaled down elements.
- Consistent relationship between sidewalk location, finished floor elevations, Building Front Yard Setbacks, street tree locations, and road widths.
- Mature trees within the boulevard area.
- Larger lots with generous Front and side Yard Setbacks that are well treed and landscaped adding to the aesthetic appeal of the streetscape. On 56th Street, known as “Son-in-Law” Row, some homes have large Front Yard Setbacks.
- Scale is related to architectural style and should be reflected in the building design. For instance, 1 to 1 ½ storey dwellings have a Minimal Traditional or Ranch architectural style, and have a smaller square footage than what became common after WW II.



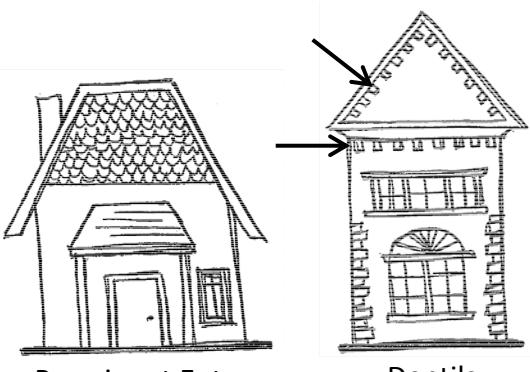
Gable Roof



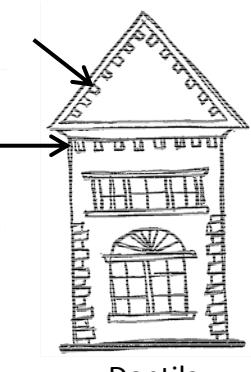
Hip Roof



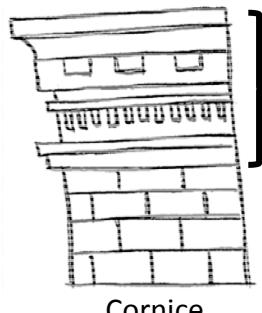
Dormer Window



Prominent Entry



Dentils



Cornice



Decorative Shingle Cladding



F.W. Galbraith Residence (HS 21)



Simpson Residence (HS 56)

3.4 Common Building Materials

- Wood cladding (wood shingle cladding, clapboard siding) or wood-replica siding
- Brick or stucco; Stone, river rock, sandstone
- Asphalt shingles or cedar shakes
- Stone, sandstone, cement, cement block or brick foundations



Detached Garage

3.5 Other Common Elements

- Mature tree lined streets with separated sidewalks
- Large well landscaped, maintained yards complete with mature vegetation
- Rear gravel lanes for vehicular access with a detached garage - Only lots with no rear lane have front driveways, garages and/or parking pads
- Very walkable streets. The streets and trails becoming informal meeting places



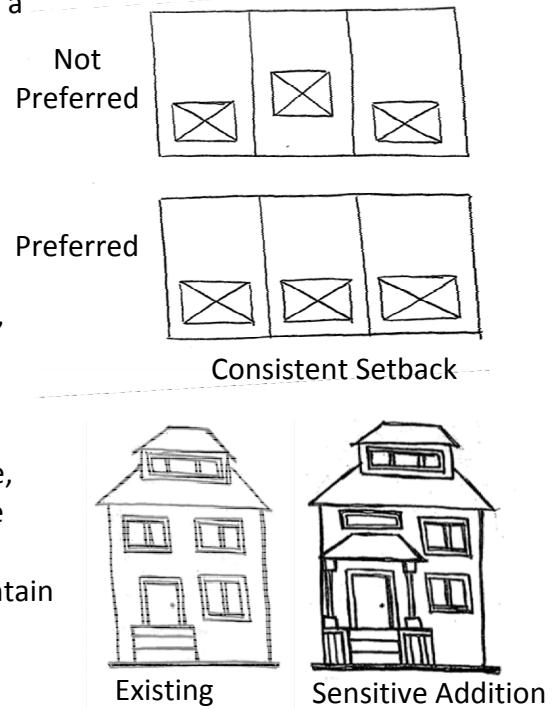
J. Weddell Residence (HS 30)



Bill Lodewyk Residence

3.6 Recommended Design Elements

1. A Tree Preservation Site Plan shall be required to accompany a development permit application in this Character Area which shall identify by location, type and size, all existing trees, natural and manmade features, Boundary hedges and landscaped boulevards. The Plan shall identify what is to be removed/relocated/preserved on site as well as any proposed tree replacements required as a result of tree removal.
2. Lots shall be compatible with and similar to the width, depth, and area of properties existing within the Immediate Street Context as the proposed redevelopment.
3. Dwellings shall be sited on the lot to be compatible with the existing pattern of dwelling placement, in terms of front, side, Flankage, and Rear Yard Setbacks prevalent in the Immediate Street Context.
4. Slight variance to Front Yard Setback may be allowed to maintain existing natural features/ trees and to better align with the Immediate Street Context.
5. Sensitive additions proposed to the front façade should be supported when the Front Yard Setback, Building design, siting and materials utilized are compatible with the Immediate Street Context. Each proposal would be assessed individually and would look at the proposed location in relation to the existing Building footprint, average of Setbacks in the Immediate Street Context and impacts to existing mature vegetation.
6. Exterior Building Materials and colours should be reflective of, similar to and compatible with



those present within the Immediate Street Context. Distinct accent colours are encouraged.



Reflecting Common Building Materials and Colors

7. Dwellings shall have a prominent primary entrance on the main frontage and generally be reflective of Edwardian, Queen Anne, Foursquare, Arts and Crafts, Prairie, Craftsman, Minimal Traditional and/or Ranch architectural styles.
8. Front Attached Garage shall only be accepted where there is no rear lane access. Where front Attached Garages are allowed, the dominance of the garage shall be reduced by having the façade of the garage flush with the front façade of the dwelling or recessed a minimum of 1.5 m behind the front façade of the dwelling. No front street access driveways, front street access parking pads, or front street access Detached Garages shall be permitted where there is vehicular access available from a rear lane or side street unless currently existing.
9. Upper storey living spaces, wholly or partially, should be incorporated within the roof structure for increased floor area. Dormer/end gable windows are encouraged to provide adequate light.
10. The height and total floor area of all accessory Buildings shall not exceed the footprint area or height of the principal Building. Accessory uses shall be subordinate in size and use to the principal Building.



Dominant Garage



Non Dominant Garage



End Gable Window

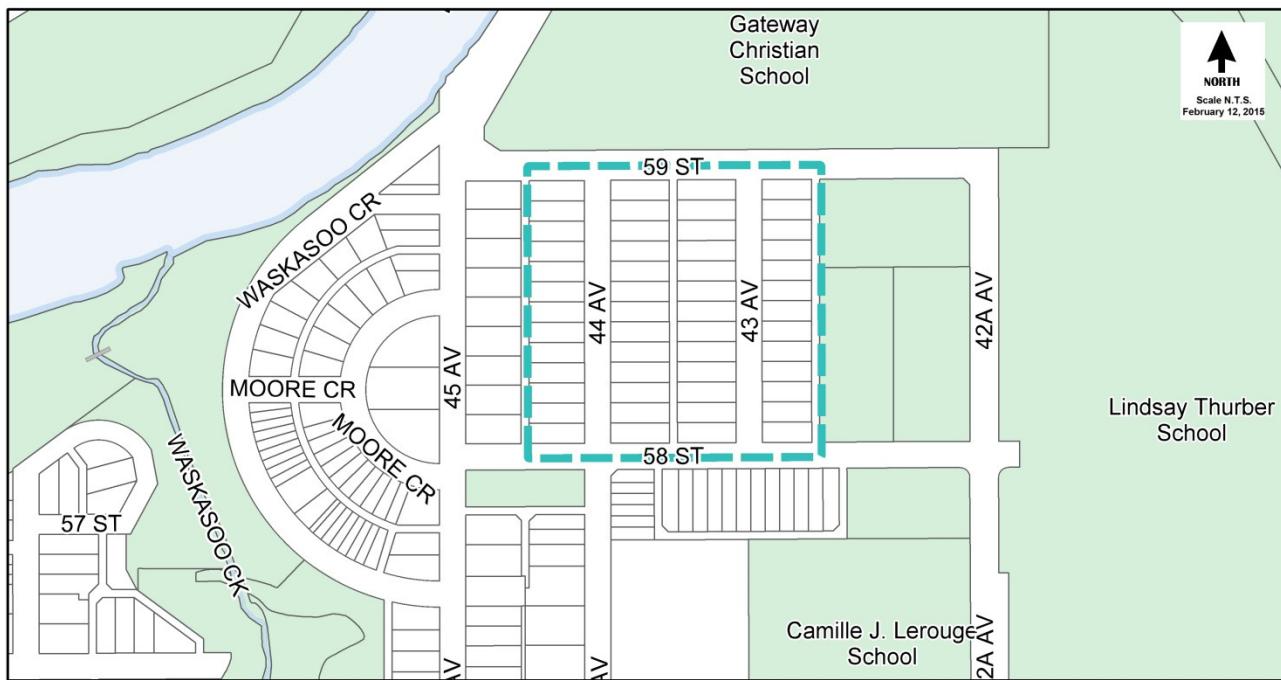


Julian Sharman Residence



4. Waskasoo A-20 Camp Character Statement

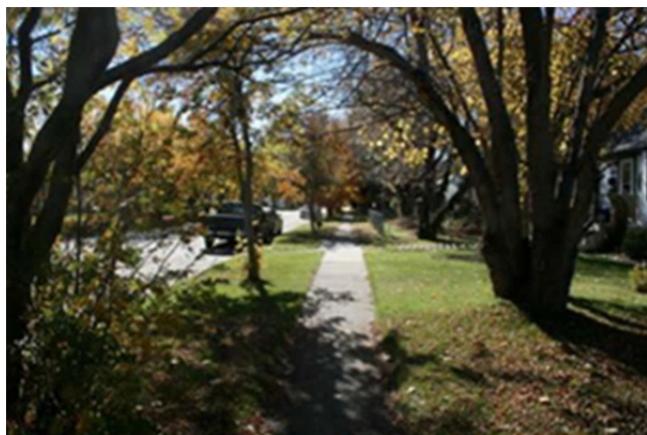
4.1 Character Statement Area Map



WASKASOO PLAN AREA
A-20 CAMP CHARACTER AREA

4.2 Context and History

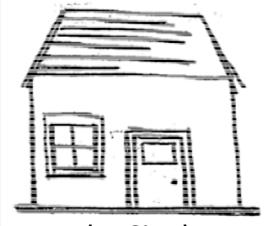
After WWII, the majority of the Department of Defence's land from the A-20 Army Camp was divided up for development. The City of Red Deer was experiencing a huge population boom and housing was needed for returning Veterans. The Federal Government began the pragmatic construction of Veteran Land Act (VLA) homes in 1945, lining these streets with modest dwellings. These dwellings remind us of the sacrifices made by the veterans of WWII and walking these streets gives the impression that creative expression, connection, nature, and community, seems to be valued over square footage.



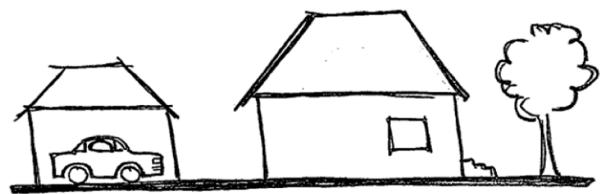
Separated sidewalks with tree lined streets

4.3 Common Forms and Scale of Buildings

- 1 or 1 ½ storey dwellings with flat, single dimension facades, and a central Prominent Entry.
- Buildings designed for efficiency, utilizing standard lengths of joists, and framing membranes.
- 1 ½ storey dwellings have simple steep pitched roofs, often with no overhang.
- The overall shape is very square or rectangular and compact, with few ornamental features.
- Large side yards, consistent Front Yard Setbacks ranging from 6 m to 8 m, and deep Rear Yards ranging from 38 m to 45.5 m. Lot widths are consistently between 15.5 m and 16 m.
- No vehicular access from the street. Detached garages are accessed from the rear lane, are out of sight, and don't affect the character when viewed from the street.
- Additions are common in the rear but there are many smaller side yard additions, and some have added Dormer windows.
- Most redevelopment has been built upon the existing dwelling or foundation, but each builder has come up with a style that complements the area in its own way.
- Size of original homes was either 57 m² or 68 m² but additions and renovations have allowed up to approximately 130 m².
- Only replacement and renovated dwellings exceed 1 ½ storeys in height.
- Some dwellings have Cantilevered projections, Dormers and porch features.



Flat Single Dimension Facade



Detached Garage



Typical unmodified dwelling



Typical dwelling form with modified porch, Dormer and side/rear addition.

4.4 Common Building Materials

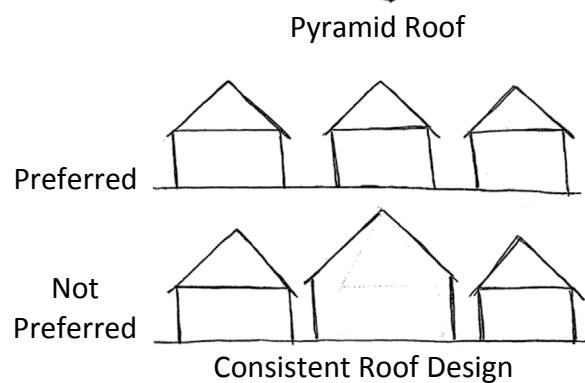
- Wood
- Stucco
- Horizontal or vertical vinyl siding
- Concrete or stone faced foundation
- Brick detailing

4.5 Other Common Elements

- Well connected sidewalks and pathways with streets laid out in a grid pattern
- Mature tree lined streets with separated sidewalks

4.6 Recommended Design Elements

1. The simple, rectangular form and proportions of the original Post-War houses should form the basis for design inspiration as opposed to replication. A design showing efficiency in the use of materials, systems and technologies as well as reflecting some of the architectural pattern language of the Immediate Street Context is desirable.
2. Roof ridge and eave height as well as roof style, typically pyramid or peaked, should align with the Immediate Street Context. If there is inconsistency resulting from height differences, the proposed Building elevations should include architectural detailing, Building articulation and stepping back of the upper floor(s) to break up the larger Building form and reduce the impact to adjacent properties.



3. Dwellings should be 1 to 2 storeys in height. Dormers or similar design elements should be encouraged to provide some additional accommodation in the roof.
4. Building additions, greater than 30% of the floor area of the existing Building, shall be located in the rear and only additions 30% or less of the floor area of the existing Building, shall be located to the side.
5. The average of the adjacent Front Yard Setbacks, commonly deep Rear Yards and the typical appearance of large side yards when viewed from the street shall be required unless there are obvious anomalies that must be considered.
6. No front street access driveways, front street access parking pads or front street access garages where there is vehicular access available from a rear lane or side street shall be permitted.
7. Sensitive additions proposed to the front façade should be supported when the Front Yard Setback, Building design, siting and materials utilized are compatible with the Immediate Street Context. Each proposal will be assessed individually and will look at the proposed location in relation to the existing Building footprint, the immediately abutting existing Buildings foot prints, average of Setbacks in the Immediate Street Context, and impacts to existing features.
8. The height and total floor area of all accessory Buildings shall not exceed the footprint area or height of the principal Building. Accessory uses shall be subordinate in size and use to the principal Building.

5. Waskasoo Environmental Character Statement

5.1 Character Statement Area Map



WASKASOO PLAN AREA ENVIRONMENTAL CHARACTER AREA

5.2 Context and History

The Environmental Character Area is made up of the Kerry Wood Nature Centre, Gaetz Lakes Sanctuary, and an undeveloped lot located at 4240 – 59th Street directly east of the Gateway Christian School. These lands were originally part of Glenmere Farms and then a portion of these lands became the A-20 Army Camp during WWII.

The area north of 59th Street and east of 42A Avenue has a greater need for environmental protection and sensitive development due to a shared drainage catchment area uninterrupted by much infrastructure with the Gaetz Lakes Sanctuary, the Kerry Wood Nature Centre, and proximity to McKenzie Trails Recreation Area and the Red Deer River. The Gaetz Lakes Sanctuary is a Provincially regulated Bird Sanctuary, consequently, development within the Sanctuary is not anticipated.

The McKenzie Trails Recreation Area and the Future Urban Development Lots have a number of constraints associated with them including being in the flood plain, flood fringe, an escarpment area and a land fill setback area. As a result no further intensification through an increase in the number of dwelling units shall be permitted; these areas are not included in the Environmental Character Area.

5.3 Common Forms and Scale of Buildings

- Natural features including native vegetation, mature trees, and a minimal Building coverage.

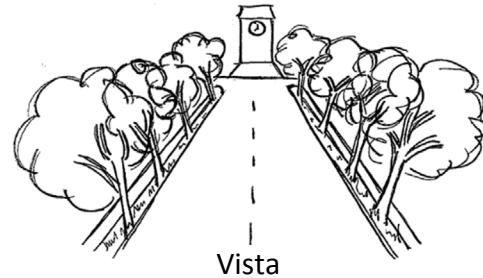
- Buildings are typically 1 storey with flat roof construction.
- Gravel or asphalt parking areas with native naturalized Landscaping.
- Two Heritage properties are located within this area; the Wishart Cabin Site within Gaetz Lakes Sanctuary, and the Allen Bungalow at Kerry Wood Nature Centre.
- The natural and recreational areas tend to have few, smaller structures and park furnishings.

5.4 Common Building Materials

- Wood and Stone

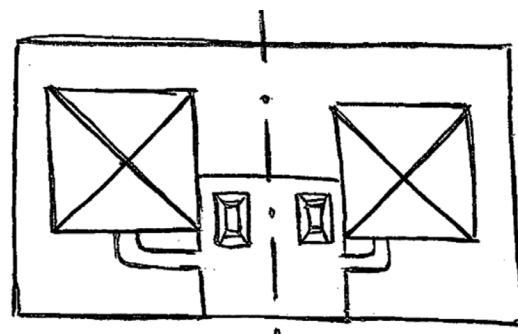
5.5 Other Common Elements

- Rural character with native, naturalized landscapes, rural road cross sections, a lack of fencing
- A wide open sense of space that is not common in other areas of the City



5.6 Recommended Design Elements

1. A conservation development pattern which clusters a development's built form together into a portion of the overall area allowing the open space of the development to contribute to the existing adjacent open space and be an amenity to the site users including wildlife. For Public Service uses with a residential component like Assisted Living, concepts such as Pocket Neighbourhoods may be considered.
2. Mature street character, scenic Vistas viewable from the road, and existing natural features of the area shall be maintained.
3. Buildings should be designed to include environmentally sustainable design features by incorporating the use of green technologies, Ecological Design, water conservation measures.
4. Low maintenance Landscaping with native non-invasive plant material shall be required and the incorporation of both Xeriscaping and Naturescaping is encouraged. The use of herbicides and pesticides is strongly discouraged.
5. Landscaped areas and islands throughout parking and storage areas shall be provided to intercept precipitation, reduce surface heating, provide canopy shading, and enhance the appearance.
6. Permeable and semi-permeable paving surfaces should be provided to improve ground water recharge and reduce storm water runoff.
7. A system to capture and recycle roof runoff and rainwater should be provided for landscape watering. If this system is proposed, the use of roofing materials that do not yield contaminants is recommended.
8. Adaptive reuse of existing Buildings and structures is encouraged.
9. All roads north of 59th Street within the character area should maintain their natural boundaries and native vegetation to preserve and enhance the wildlife corridor through this critical area adjacent to the Red Deer River.
10. Shared driveways are encouraged. Other reductions in impervious surfaces may be achieved through the elimination of curbing and the use of decorative pervious surfaces for sidewalks, driveways, and trails.



Shared Driveway

11. Disruption of any open space proposed to be disturbed during construction or otherwise not preserved in its natural state shall be shown on development plans and shall be restored with vegetation that is compatible with the natural characteristics of the site.
12. Excavated material may be used for the creation of berms or to provide a low fertility soil for the creation of wild flower meadows or similar semi-natural habitats to blend with the more naturalized character of the area.
13. Existing specimen conifer and deciduous trees shall be identified on a site plan and protected during site construction activities and after by ensuring Buildings, services or Hard Surface areas are not sited too close.
14. New trees planted should be of a similar species than what is currently found in the Waskasoo Environmental Character Area. Edible vegetation such as fruit trees and berry bushes should be included in Landscaping.
15. New development should not adversely affect the character of the streetscape, as a result of being sited too close to the road, of inappropriate or excessive Massing, form or height having a negative impact on abutting properties in terms of shadows and privacy/over look, or causing the loss of landscape features or other factors which may have a negative effect on the streetscape or abutting properties.
16. Location, style, and amount of fencing proposed around and/or adjacent to open space areas shall have consideration for the movement of wildlife and the prevention of opportunities for wildlife entrapment.
17. In order to reduce ambient light levels which will reduce the impact of light on nocturnal environments, exterior lighting on Buildings or within yards should be pointed down particularly near the Sanctuary.



Existing road cross section on 45th Avenue north of 59th Street

6. Definitions

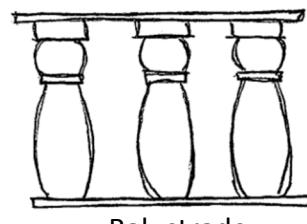
Arts and Crafts Style developed in the 1860s as a reaction against the growing industrialization of Victorian Britain. Those involved believed in the equality of all the arts and the importance and pleasure of work. The appearance of the style resulted from the principals involved in the making of the objects. By the end of the century such ideals had affected the design and manufacture of all the decorative arts in Britain. The principle characteristics are:

- Truth to materials; meaning preserving and emphasizing the natural qualities of the materials used to make objects was one of the most important principles of Arts and Crafts style
- Simple forms; where there was no extravagant or superfluous decoration and the actual construction of the object was often exposed
- Natural motifs as Nature was an important source of Arts and Crafts motifs as the patterns used were inspired by the flora and fauna of the countryside
- The vernacular - The vernacular, or domestic, traditions of the British countryside provided the main inspiration for the Arts and Crafts Movement.

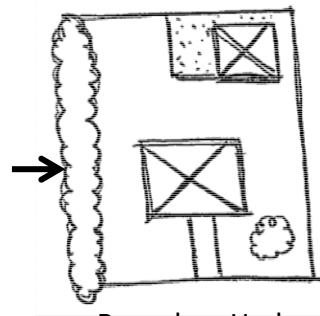
Attached Garages are enclosed parking areas which are integrated into the main dwelling structure and are typically accessed from a driveway connecting to a municipal street or rear lane.



Attached Garage

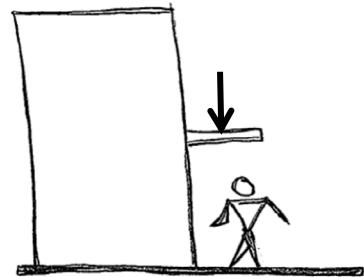


Balustrade



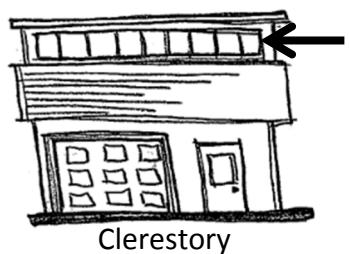
Boundary Hedge

Balustrade, also called spindle or stair stick, is a molded shaft, square or lathe-turned form, a form cut from a rectangular or square plank, various forms, made of stone or wood and sometimes of metal, standing on a unifying footing, and supporting the coping of a parapet or the handrail of a staircase.



Cantilever

Building means any structure used or intended for supporting or sheltering any use or occupancy.



Clerestory

Boundary Hedge is vegetation in the form of hedges or shrubs located on or adjacent to the registered property line of a site.

Building Materials are materials used for construction. For the purpose of this document, building materials predominantly refer to exterior cladding materials, such as brick, stone, and wood.

Cantilever is a beam anchored at only one end. The beam carries the load to the support. Cantilever construction allows for overhanging structures without external bracing. This is in contrast to a simply supported beam which is supported at both ends.

Clerestory is a high wall with a band of narrow windows along the very top. The clerestory wall usually rises above adjoining roofs.

Common Form is a similarity in the shape, outline or configuration of a structure as apart from colour, materials, etc.

Common Materials is a similarity in the substance, or a mixture of substances that constitute a thing.

Common Scale is a similarity in size based on an informal system of general size categorizations useful for comparison purposes.

Cornice is generally any horizontal decorative molding that crowns a building or furniture element—the cornice over a door or window, for instance, or the cornice around the top edge of a pedestal or along the top of an interior wall. A simple cornice may be formed just with a crown molding. The function of the projecting cornice of a building is to throw rainwater free of the building's walls.

Craftsman Style is based on a reform philosophy, encouraging originality, simplicity of form, local natural materials, and the visibility of handicraft, but distinguished itself, particularly in the Craftsman Bungalow style, with a goal of ennobling modest homes for a rapidly expanding American middle class.

Dentil is a small block used as a repeating ornament under the projecting part of a cornice. As a general rule the projection of the dentil is equal to its width, and the intervals between to half the width.

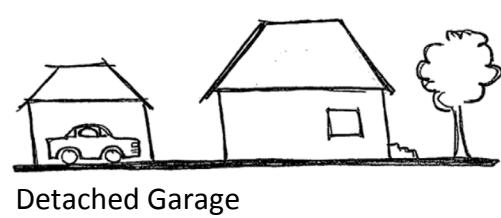
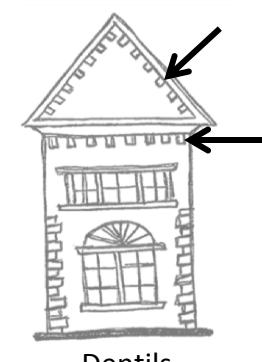
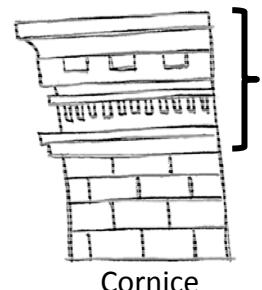
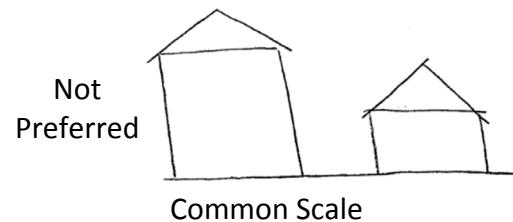
Detached Garages and Accessory Structures are free-standing buildings that are not connected to the main dwelling, and are typically accessed from a driveway connecting to a municipal street or rear lane, but which contribute to the overall site function and layout.

Dormer is framing which projects from a sloping roof, providing an internal recess in the roof space.

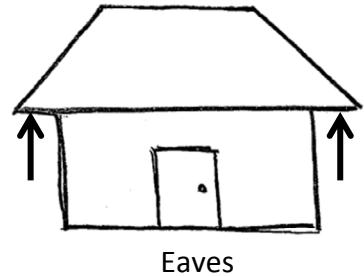
Dormer Window is a window in a dormer for lighting a room adjoining a sloping roof.



Dormer Window within Dormer



Eaves are defined as the edges of the roof which overhang the face of a wall and, normally, project beyond the side of a building. The eaves form an overhang to throw water clear of the walls and may be highly decorated as part of an architectural style.



Ecological Design is defined as any form of design that minimizes environmentally destructive impacts by integrating itself with living processes. Ecological design is an integrative ecologically responsible design discipline.

Edwardian Style is the style popular during King Edward VII of the United Kingdom's reign; he reigned from 1901 to 1910, but the architecture style is generally considered to be indicative of the years 1901 to 1914. Edwardian architecture is:

- generally less ornate than high or late Victorian architecture
- Lighter colours were used;
- the use of gas and later electric lights caused designers to be less concerned about the need to disguise soot buildup on walls compared to Victorian era architecture.
- Decorative patterns were less complex and there was less clutter than in the Victorian era.
- Ornaments were perhaps grouped rather than everywhere.
- false front facades and carefully crafted columns and cornices.

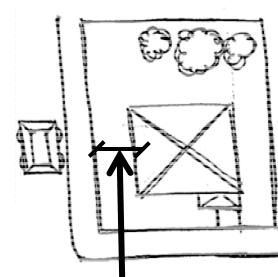


Edwardian Style

Flankage is the side yard abutting a street on a corner lot.

Foursquare Style is an American house style popular from the mid-1890s to the late 1930s. This style incorporates elements of the Prairie School and the Craftsman styles. It is also sometimes called Transitional Period. It was a reaction to the ornate and mass-produced elements of the Victorian and other Revival styles popular throughout the last half of the 19th century. Foursquare style usually has these features:

- plain, often incorporating handcrafted "honest" woodwork (unless purchased from a mail-order catalog)
- Simple box shape
- Two-and-a-half stories high
- Four-room floor plan
- Low-hipped roof with deep overhang
- Large central dormer
- Full-width porch with wide stairs
- Brick, stone, stucco, concrete block, or wood siding



Flankage

Front Façade refers to the front elevation of the dwelling which faces the street and contains the main entrance.

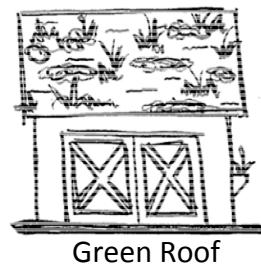
Front Yard means that part of a site which extends across the full width of a site between the front boundary and the nearest wall or supporting member of a building.

Gable is the upper triangular-shaped portion of the end wall of a building.



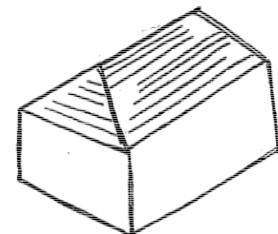
Green Building (also known as **green construction** or **sustainable building**) refers to a structure and using process that is environmentally responsible and resource-efficient throughout a building's life-cycle: from siting to design, construction, operation, maintenance, renovation, and demolition. In other words, green building design involves finding the balance between homebuilding and the sustainable environment. This requires close cooperation of the design team, the architects, the engineers, and the client at all project stages. The Green Building practice expands and complements the classical building design concerns of economy, utility, durability, and comfort.

Green Roof means a building's roof which allows vegetation to grow in a growing medium. The green roof may be partially or completely covered in plants.



Hard Surface is an area which is paved or covered with a permanent, durable material to make a suitable surface for vehicular and pedestrian activities. In the context of this guideline, hard surface refers to driveway and walkway surface treatments, predominantly within the front yard of the property.

Hip roof or **hipped roof** is a type of roof where all sides slope downwards to the walls, usually with a fairly gentle slope. Thus it is a house with no gables or other vertical sides to the roof. A square hip roof is shaped like a pyramid. Hip roofs on houses could have two triangular sides and two trapezoidal ones. A hip roof on a rectangular plan has four faces. They are almost always at the same pitch or slope, which makes them symmetrical about the centerlines. Hip roofs have a consistent level fascia, meaning that a gutter can be fitted all around. Hip roofs often have dormer slanted sides.



Immediate Street Context refers to existing buildings along the same street frontage (both sides of the streets) as the proposed redevelopment and within the same block.

Landscaping refers to any activity that modifies the visible features of an area of land, including simple to complex arrangements of living elements (flora), natural elements (landforms), and human elements (structures).

Massing is defined as the three dimensional form of a building.

Minimal Traditional Style is housing of simple design appropriate for a country recovering from a Great Depression and anticipating World War II. Minimal Traditional houses may have these features:

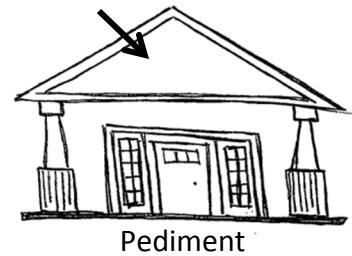
- small with minimal decorations
- low or moderately pitched roof
- minimal eaves and roof overhang



- side gable, often with one front-facing cross gable
- front door entrance under the front cross gable
- one story, with an attic story
- shutters are common
- exterior siding of wood, brick, or a mix of sidings
- small fireplace and chimney

Naturescaping means the modification and enhancement of a lot or development to promote water efficiency and reduce the dependence on fertilizers and pesticides. The use of native central Alberta non-invasive vegetation is preferred.

Pediment is an element in classical, neoclassical and baroque architecture, and consists of a gable, originally of a triangular shape, placed above the horizontal structure of the entablature, typically supported by columns. The triangular area within the pediment was often decorated with relief sculpture depicting scenes from Greek and Roman mythology or allegorical figures.



Prairie Style is a late 19th- and early 20th-century architectural style. The style is usually marked by horizontal lines, flat or hipped roofs with broad overhanging eaves, windows grouped in horizontal bands, integration with the landscape, solid construction, craftsmanship, and discipline in the use of ornament. Horizontal lines were thought to evoke and relate to the native prairie landscape. The designation Prairie is due to the dominant horizontality of the majority of Prairie style buildings which echo the wide, flat, treeless expanses of the mid-West. The most famous proponent of the style, Frank Lloyd Wright, promoted an idea of "organic architecture", the primary tenet of which was that a structure should look as if it naturally grew from the site. Prairie style houses may have these features:

- Low-pitched or flat roof
- Overhanging eaves
- Horizontal lines
- Central chimney
- Open floor plan
- Clerestory windows



Prominent Entry is a building entrance that is conspicuous in its position or importance and is supported by architectural detailing, a walkway to the street and appropriate landscape treatment.

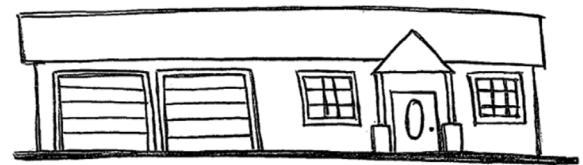
Queen Anne Style is a style that came into vogue in the 1880's and was used until the 1920's. Distinctive features of the American Queen Anne style (rooted in the English style) may include:

- an asymmetrical facade;
- dominant front-facing gable, often cantilevered out beyond the plane of the wall below;
- overhanging eaves; shaped gables;
- round, square, or polygonal tower(s);
- a porch covering part or all of the front facade, including the primary entrance area;
- a second-story porch or balconies;
- pedimented porches;

- differing wall textures, such as patterned wood shingles shaped into varying designs, including resembling fish scales, terra cotta tiles, relief panels, or wooden shingles over brickwork, etc.;
- dentils; Spindle work;
- classical columns;
- oriel and bay windows;
- horizontal bands of leaded windows;
- monumental chimneys;
- painted balustrades;
- wooden or slate steep roofs
- Front gardens often had wooden fences

Ranch Style is a domestic architectural style originating in the United States. The ranch house is noted for its long, close-to-the-ground profile, and minimal use of exterior and interior decoration. The houses fuse modernist ideas and styles with notions of the American Western period working ranches to create a very informal and casual living style. Ranch Style houses have many of these features:

- Single story, rectangular, L-shaped, or U-shaped design
- Low pitched gable roof, deep-set eaves
- Horizontal, rambling layout: Long, narrow, and low to the ground
- Large windows: double-hung, sliding, and picture
- Sliding glass doors leading out to patio
- Attached garage
- Simple floor plans with an emphasis on openness (few interior walls) and efficient use of space
- Built from natural materials: Oak floors, wood or brick exterior
- Lack decorative detailing, aside from decorative shutters



Ranch Style

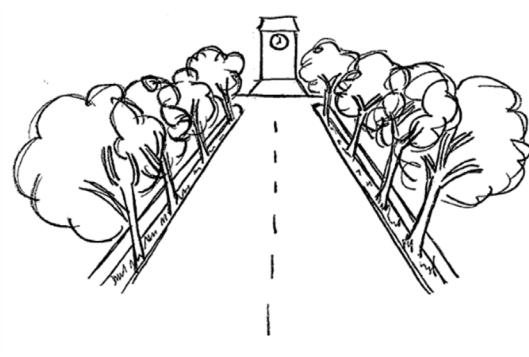
Rear Yard means that part of a site which extends across the full width of a site between the rear boundary and the nearest wall or supporting member of a principal building.

Scale is defined as the size of a building and its component parts in comparison with the size of neighbouring dwellings.

Setback is defined as the distance of a structure from a property line.

Vista means a scenic or panoramic view.

Xeriscaping means a method of landscaping that uses plants that can survive dry periods on their own without reliance on watering, fertilizer or other maintenance.



Vista



ARP Appendix 2

Waskasoo Historic Sites

The City of Red Deer has two levels of designation in *The City of Red Deer's Land Use Bylaw 3357/2006*. Historical Significance (HS) is the most common and the lowest level of protection and it is a local designation listed in *The City of Red Deer's Land Use Bylaw* as HS- Historical Significance. Municipal Designation (HP) is a higher level of designation. *The Alberta Historical Resources Act* gives City Council the authority to designate sites as Municipal Historic Resources. This is the highest level of local designation offering a higher level of protection Examples of such sites include the Michener Administration Building, Cronquist House, and Parsons House. These sites are listed in *The City of Red Deer's Land Use Bylaw* as HP-Historical Preservation sites. Waskasoo has 17.12% of all the currently listed Historic Sites and the potential for more.

There are, as of October 1, 2015, a total of nineteen historical sites which include four Historical Preservation sites and fifteen Historical Significance sites in the Waskasoo neighbourhood. The historical designation given to these sites by *The City of Red Deer Land Use Bylaw 3357/2006* is intended to promote community awareness and provide a means whereby these sites or buildings are preserved. The designation also protects some of these sites and buildings from demolition until further evaluation can prove otherwise. The Bylaw encourages but does not require that any renovations undertaken be sympathetic to the historical integrity of the site. For future reference, the *Land Use Bylaw* should be used to verify the current list of designated properties. The nineteen sites are listed in Figure 1 below and their locations shown in Figure 2.

Figure 1 - Historical Preservation and Historical Significance Sites in Waskasoo (Excerpt from LUB)

Property Number	Historical Site Designation Building	Street Address	Legal Description	Designation	SOS/ Integrity
HP - 4	Allen Bungalow	6316 - 45 Avenue	NE 1/4 21-38-27-4 which lies east of Road Plan 1264 ET	Municipal/ Registered	Statement of Significance
HP - 12	Clarke Residence	4757 - 56 Street	Lot 27, Block A, Plan K1	Municipal	SOS
HP - 15	Scott House	4743 - 56 Street	Lot 20, Block A, Plan K1	Municipal	SOS
HP-18	Routledge Family Residence	4736 56 Street	Lot 15, Block C, Plan 5947 AM	Municipal	SOS

ARP APPENDICES



HS-1	A20 Army Camp Motor Pool Building & Cormack Gardens Currently Red Deer Armoury	4402 – 55 Street	Parcel C, Plan 837 H.W.	N/A	SOS
HS-3	Bank Manager's Residence	4742 - 56 Street	Lot 12, Block C, Plan K1	N/A	SOS
HS-14	Drill Hall #1 (Red Deer Public School Maintenance Shop)	4230 – 58 Street	Lot D1, Plan 4154 R.S.	N/A	
HS-15	Drill Hall #2 (Red Deer Memorial Centre)	4214 – 58 Street	Lot E, Plan 3962 H.W.	N/A	
HS-21	F.W. Galbraith Residence	5810 – 45 Avenue	Lot 1, Block 5, Plan 961 H.W.	N/A	SOS
HS-30	J. Weddell Residence	4532 Waskasoo Crescent	Lot 40, Block 2, Plan 872 2544	N/A	
HS-31	Johnstone Residence	5509 - 48A Avenue	Lot B, Block A, Plan 1995 ET	N/A	
HS-39	William Moore Residence	5555 – 45 Avenue	Lot 8, Block A, Plan 955 M.C.	N/A	SOS
HS-51	Raymond Gaetz Residence	4763 - 56 Street	Lot 30, Block A, Plan 647 K.S.	N/A	SOS
HS-54	A.H. Russell Residence	5938 – 45 Avenue	Lot 1 & 2, Block 3, Plan 1292 A.O.	N/A	SOS
HS-56	Simpson Residence	5820 – 45 Avenue	Lot 2, Block 5, Plan 961 H.W.	N/A	SOS
HS-62	Wallace Residence	4755 - 56 Street	Lots 25-26, Block A, Plan K1	N/A	SOS
HS-80	Oak Tree	55 Street/46 Avenue	Lot 25, Block 1, Plan 1292 A.O.	N/A	
HS-87	Willow Tree	4700 -55th Street	Lots 5 - 7, Block B, Plan K1 Lot 21, Block B, Plan 902, 1952 Plan	N/A	
HS-88	Wishart Cabin Site	Gaetz Lake Sanctuary		N/A	



WASKASOO HERITAGE RESOURCES



Figure 2 – Waskasoo Heritage Resources Map

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ARP Appendix 3

Missing Links Identified

Community consultation identified a number of locations within the community where there are missing sidewalk or trail connections. The City's 2015 Capital Sidewalk Program has included these sidewalk locations and will proceed to installation as budgets permit.

For potential trail connections, community consultation should be undertaken during the planning and investigation stages. Funding sources would also have to be identified. The potential locations for trail connections are shown on the map and described as follows:

- 47A Avenue north to the South Bank Trail: This potential location will need further investigation due to the impacts resulting from grade changes that would have to be accommodated to meet existing trail standards. Community consultation should be undertaken during the planning and investigation stages.
- 42A Avenue east to the trail that runs north/south behind Lindsay Thurber and goes up Michener Hill along the existing worn desire line: This potential location will need further investigation due to the need for an agreement with the Red Deer Public School Board to build the trail through their property.
- East along the south bank of Red Deer River from Waskasoo Creek: This potential location for a shale pathway will need further investigation due to the potential of further impact on the riparian area. The placement of a garbage receptacle at the entry may alleviate some of the concerns as this location is currently being used by people fishing and dogs swimming informally.

The Traffic Section will be improving pedestrian connectivity by adding to the existing cross walks in the neighbourhood. Approximately 10 new cross walks will be added in the near future. Refer to the Missing Links map for proposed locations. Additional signage including 'Local Access Only' signs on some lanes and a 'No Parking Anytime' sign in the McKenzie Lakes subdivision.

Vehicular

A vehicular access to 67 Street was also identified as an opportunity to provide a second option for entering or exiting the community. Due to the large number of constraints in the area as well as the substantial change in grade that would have to be accommodated, this option was determined to not be feasible.

ARP APPENDICES

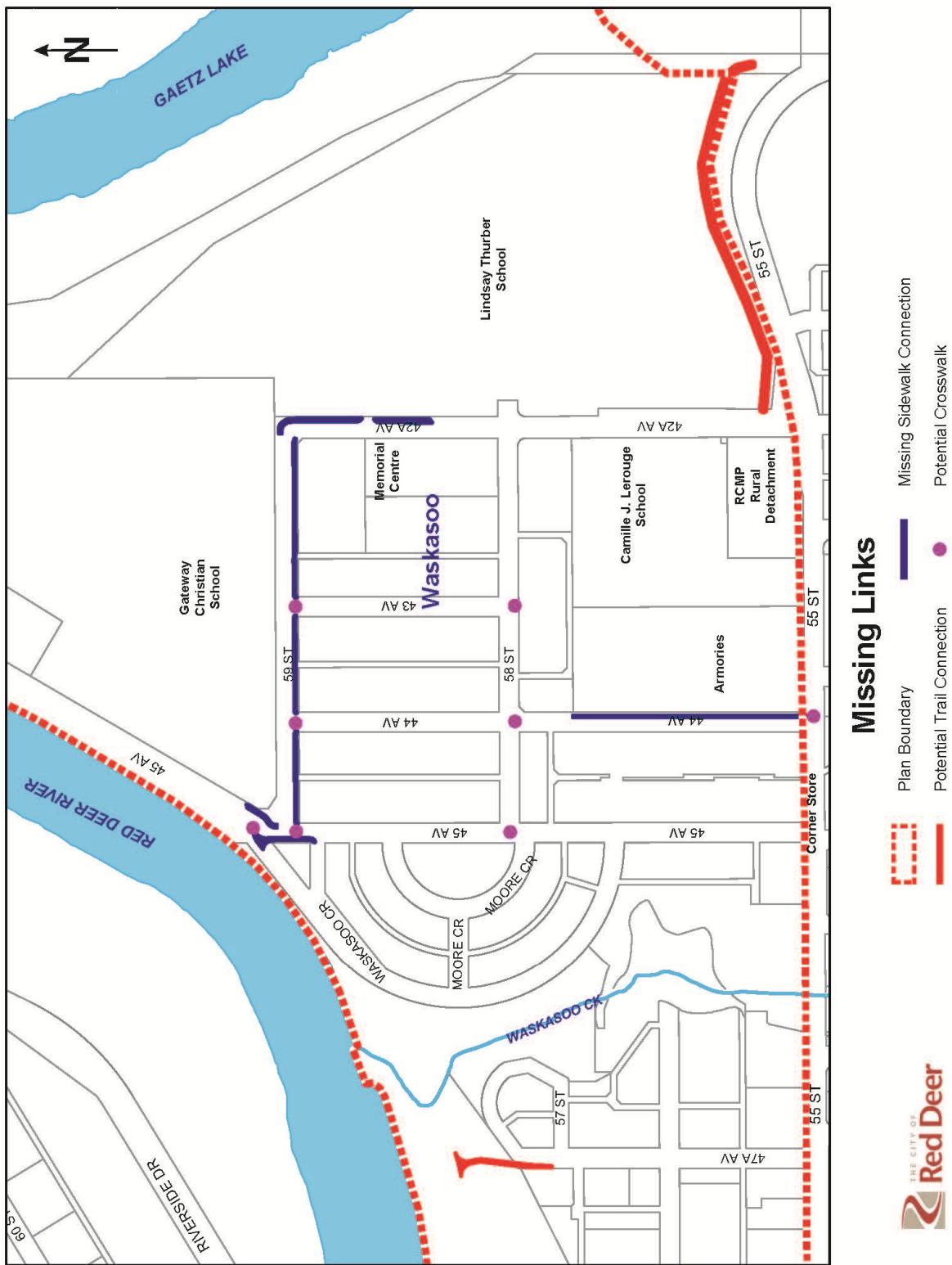


Figure 1 – Movement – Missing Links

ARP APPENDICES